

Request for Proposals

Guru Nanak Diversity Village

(125 bed long-term complex care facility in Surrey, BC)

Project Coordination, Construction Procurement & Monitoring

Deadline for Submissions

April 14, 2023, 5:00 PM PST

Registered Charitable Organization Number: 14105-1904RR0001
Serving the Community Since 1987

www.pics.bc.ca

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Guru Nanak Diversity Village
March 29, 2023

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1. BACKGROUND

Progressive Inter-Cultural Community Services Society (PICS)

PICS is a registered non-profit organization that has been serving the community since 1987. PICS provides a broad spectrum of programs and services which includes employment programs, settlement services, language services, social programs and housing services. These services assist new immigrants, farm workers, women, youth and seniors. PICS currently provides culturally sensitive housing and care services to seniors who are living independently and to those requiring assisted living. In 2015 PICS began purchasing land and developing the Guru Nanak Diversity Village project (Project) with the intent of providing culturally sensitive long term complex residential care for seniors with South Asian backgrounds living in Surrey and North Delta. For additional background visit <https://pics.bc.ca>.

Purpose for this RFP

The Project has progressed through the development permit approval stage and in December 2022 a building permit application was submitted to the City of Surrey. Tendering and construction is expected to commence in the late summer or early fall of 2023.

DOM Santi Management has been PICS' project lead providing development consulting and project management services since 2018. In January 2023 DOM Santi advised PICS that it was terminating its project management services due to a serious health issue that had recently arisen for Bob Papau, but agreed to manage the Project until April 14th, so PICS could find a replacement service provider(s).

PICS is issuing this RFP for the purpose of identifying and selecting a service provider(s) to carry on with the services DOM Santi was providing under its contract with PICS.

2. GURU NANAK DIVERSITY VILLAGE

a) Project Location and Data

The Project site is located at 6471 175A Street, Surrey, BC and is approximately 2.5 acres in area.

The concrete structure comprises 125 long term complex residential care beds in 6 houses on 3 levels and 1 level of underground parking with 67 stalls and facility services. The gross floor area of the project, measured in accordance with the guidelines established by the Canadian Institute of Quantity Surveyors, is 118,177 sq. ft.

See Appendix A for the architectural drawings submitted with the building permit application.

b) Project Cost

The overall capital budget for the Project is approximately \$104,000,000.

c) Project Funding and Financing

Per diem funding will be provided by Fraser Health and the Ministry of Health.

BC Housing is currently providing project development funding and together with the Ministry of Health will facilitate construction financing for the Project from the Provincial Treasury Board.



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PICS and the community will provide cash equity in the amount of \$5,000,000.

d) Construction Procurement

Construction is to be procured through the design bid build method and a CCDC 2 stipulated sum contract.

e) Operations and Management

PICS will own and operate the completed facility and employ all operational staff.

For an interim period of up to 5 years Optima Seniors Management Inc. will manage the facility, or until such time as Fraser Health deems necessary.

f) Project Governance

In 2020, following an RFP process, PICS was selected by Fraser Health to provide the 125 long term complex residential care beds and in August 2020 PICS and Fraser Health signed a project development agreement for the Project's development.

Project oversight is provided by the Project Oversight Committee (OSC), comprised of Ministry of Health, Fraser Health, BC Housing and PICS representatives. PICS' project manager takes direction from the OSC.

PICS also has a building committee which supports PICS' CEO and project manager. The building committee is comprised of Satbir Cheema, CEO of PICS and 3 PICS board members. PICS' project manager reports directly to Satbir Cheema but also takes direction from the building committee.

Since 2018 DOM Santi Management and its principal Bob Papau have been providing development consultant and project management services for the Project.

g) Project Team Directory

See Appendix B for the resources currently working on the Project.

3. DOCUMENTATION STATUS

a) Building Permit Application

A complete building permit application was submitted in December 2022. The application is undergoing internal reviews and is in queue for a plan reviewer to be assigned.

b) Class B Construction Estimate and Capital Cost Budget Update

BTY Consultancy has been providing cost guidance on the Project since 2019 and in December 2022 submitted an updated Class B construction cost estimate in the amount of \$68,000,000. In turn, the Project's capital budget was updated in the amount of \$104,000,000.

c) Project Milestone Schedule

See Appendix C.



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d) Project Documentation

The successful proponent will be provided with access to all Project related documentation.

4. SCOPE OF SERVICES

PICS is seeking fee proposals for the following scope of services:

a) Project Coordinator (Schedule A)

See Appendix D.

b) Construction Procurement Consultant and Construction Monitor (Schedules B and C)

See Appendices E and F.

5. AGREEMENT

The successful proponent is expected to prepare a draft contract in a form acceptable to PICS for review.

6. SUBMISSION REQUIREMENTS

a) Fee Proposal

Proponents are required to submit their fee proposal in the following form:

Schedule	Scope of Services	Fee \$ (Net GST)
A	Project Coordination *	
B & C	Construction Procurement & Construction Monitoring	
Total		

*Note: Ideally, PICS would like to award a contract for all services to one proponent, but reserves the right to award the contract for Schedule A services, separately, to a proponent different from that awarded Schedule B & C services.

b) Personnel, Qualifications, Experience and References

PICS expects that the personnel supporting this project are located in the Lower Mainland and have experience with City of Surrey, BC Housing, Fraser Health, and or other similar government approving agencies.

Provide the name of the person(s) that will be responsible for delivering each of services as per Schedules A, B & C, including their:

- percentage of time each person responsible for delivering each of the services will dedicate to this project;
- hourly rate allocation for each person;
- list of similar completed projects for each person; and
- references for each person.



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c) Deliverables

Describe your recommended approach for the each of services described in Schedules A, B and C.

d) Life Safety

Describe your approach to life safety practices on projects previously managed.

e) Proof of Insurance

- Provide proof of Professional Liability Insurance and Comprehensive General Liability Insurance; and
- List and briefly describe any claims made against your insurance policies within the past 5 years.

f) Legal Actions

List and briefly describe any legal actions against your corporation within the past 5 years.

g) Open for Acceptance

Fee proposal should be valid and open for acceptance 90 days.

h) Electronic Submission

Proposals are to submitted electronically in PDF format.

7. EVALUATION & SELECTION PROCESS

a) Mandatory Requirements

- Proof of Professional Insurance;
- Incorporation in BC;
- Experience with one of the 3 project types;
- Prior experience working with government agencies like BCH, FHA or similar agencies;
- At least 1 similar project with a value of \$50.0M or greater, for Schedule B and C services.

b) Evaluation Criteria

All fee proposals will be evaluated based on the following evaluation criteria:

- The Fee(s);
- Experience with City of Surrey, BC Housing, Fraser Health and or other similar government agencies;
- Experience with similar projects and of similar scale e.g. long term care, hospitals and seniors housing;
- Team strengths e.g. qualifications, experience and percentage of time dedicated to this project; and
- Recommended approaches for the each of the 3 services required and life safety practices on projects.

c) Evaluation and Selection Timeline

On receipt of proponent proposals PICS' building committee will review all submissions, short list and interview 3 proponents based on the results of the Mandatory Requirements and Rated Criteria.

Based on the results of the Rated Criteria and interview PICS' building committee will make a recommendation to the OSC for approval, at the OSC meeting on Tuesday, June 13, 2023.



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d) Agreement

The approved proponent will be issued an award of contract upon which a draft contract, in a form acceptable to PICS, is to be presented to PICS for review, comment and execution.

8. PICS RESERVES THE RIGHT

- a) To waive an omission, qualification, irregularity, failure to comply with this RFP or other defect in a proposal, and accept that proposal.
- b) In its sole discretion to include some or all of such alternate services and alternate fees in a contract with the successful proponent, either as part of the initial scope of services or as optional work that PICS may elect to add to the scope of services in future.
- c) To reject a proposal if the proponent's current or past corporate or other interests may, in PICS' opinion, give rise to a conflict of interest or unfair advantage (whether actual or perceived) in connection with the project described in this RFP.
- d) To disqualify any proponent that becomes involved in a dispute, or is involved in an ongoing dispute, with PICS during the course of this RFP process if PICS, acting reasonably, believes such dispute may negatively affect the project or the working relationship between PICS and the proponent.
- e) In its sole discretion to negotiate changes to the proponent's contract, including the terms of a proposal and pricing or other financial terms.
- f) To issue a limited notice to proceed, or to enter into an interim agreement with the selected proponent, authorizing commencement of work while the contract is being finalized and executed.
- g) To object to a proposed key staff, in which event PICS will permit a proponent, within 5 business days, to propose a substitute key staff acceptable to PICS or the proponent may withdraw its proposal.
- h) To modify the terms of this RFP at any time at its sole discretion.
- i) Will not be bound to accept the lowest fee and reserves the right to accept, reject or cancel, any and all proposals.
- j) To not review or evaluate any portion of a proposal that is not in English. Proposals should be in English.
- k) To disqualify any proponent that in PICS' opinion has a conflict of interest or unfair advantage, whether real, perceived, existing now or likely to arise in the future, or may permit the proponent to continue and impose such conditions as PICS may consider to be required by PICS.

9. INQUIRIES

All inquiries are to be submitted in writing to Judy Pavlovic, Senior Executive Assistant: judy.pavlovic@pics.bc.ca.

Deadline for inquiries is April 5, 2023.

10. DEADLINE FOR SUBMISSION

April 14, 2023, 5:00 PM PST.

Attention: Judy Pavlovic, judy.pavlovic@pics.bc.ca



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GURU NANAK DIVERSITY VILLAGE

LONG TERM CARE FACILITY PROPOSAL

6471 175A STREET, SURREY, BC

PROJECT STATISTICS			
CIVIC ADDRESS: 6471 175A Street, Surrey, BC			
LEGAL DESCRIPTION: LOT 2 SECTION 18 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN EPP94567			
SITE AREA (GROSS): PROVIDED BY SURVEY 108,739.28 S.F. 10,102.21 M2 2.50 ACRES			
SITE AREA (NET): 103,779.38 S.F. 9,641.42 M2 2.39 ACRES			
DEDICATIONS: 64TH AVE AND WEST LANE 4,959.90 S.F. 460.79 M2 0.11 ACRES			
CURRENT ZONING: CD			
		ALLOWED / REQUIRED	PROPOSED / PROVIDED
			TO ROOF OVERHANG TO BUILDING FACE
SETBACKS:	NORTH (INTERIOR LOT LINE):	20.00M	12.85M
	WEST (INTERIOR LOT LINE):	6.00M	N/A
	SOUTH (FACING 64TH AVENUE):	4.50M	4.70M
	EAST (INTERIOR LOT LINE):	0.00M	N/A
DENSITY F.A.R. (FROM GROSS SITE AREA):		1.00 108,739.28 SF 10,102.21 m² (ON GROSS SITE AREA)	0.85 92,663.68 SF 8,608.83 m² (ON GROSS SITE AREA)
DENSITY F.A.R. (FROM NET SITE AREA):		1.00 103,779.38 SF 9,641.42 m² (ON NET SITE AREA)	0.89 92,663.68 SF 8,608.83 m² (ON NET SITE AREA)
BUILDING HEIGHT:		20.00 M (5 STOREYS)	16.00 M (3 STOREYS)
LOT COVERAGE:		45%	36.30% LEVEL 1 ON GROSS SITE AREA

AREA BREAKDOWN						
LEVEL	CARE FACILITY	CIRCULATION	GROSS	EXCLUSIONS		NET (FSR)
LEVEL 1	25,300.10 SF 2,350.46 m²	10,511.76 SF 976.57 m²	35,811.86 SF	3,327.03 m²	3,264.03 SF 303.24 m²	32,546.83 SF 3,023.79 m²
LEVEL 2	20,815.75 SF 1,933.85 m²	9,250.90 SF 859.44 m²	30,066.65 SF	2,793.28 m²	-	30,066.65 SF 2,793.28 m²
LEVEL 3	20,786.18 SF 1,931.10 m²	9,264.01 SF 860.65 m²	30,050.19 SF	2,791.75 m²	30,050.19 SF	2,791.75 m²
	66,902.03 SF 6,215.40 m²	29,026.67 SF 2,696.67 m²	95,928.71 SF	8,912.07 m²	3,264.03 SF 303.24 m²	92,663.68 SF 8,608.83 m²
EXCLUSIONS		AREA (S.F.)	AREA (m2)			
BEAUTY SALON		347.37 SF	32.27 m²			
GRAND HALL		1,726.81 SF	160.43 m²			
THERAPY		1,189.85 SF	110.54 m²			
TOTAL:		3,264.03 SF	303.24 m²			
TOTAL GROSS BUILDING AREA:		95,928.52 SF	8,912.05 m²			
TOTAL NET BUILDING AREA:		92,663.49 SF	8,608.81 m²	*EXCLUDES BEAUTY SALON, GRAND HALL AND THERAPY ROOM		

VEHICULAR PARKING			
	ALLOWED/REQUIRED:	PROPOSED:	
RESIDENT PARKING			
TO BE ACCESSIBLE STALLS	+0.4 STALLS PER UNIT	50 STALLS	68 STALLS
DROP-OFF PARKING	0.02 PER REQ. PARKING STALLS	1 STALL	1 STALLS
REGULAR STALLS - AT GRADE			1 STALLS
TOTAL PARKING PROVIDED			53 STALLS
REGULAR CAR STALLS			14 STALLS
SMALL CAR STALL ACCESSIBLE			1 STALLS
EV CHARGING STALLS	30% OF TOTAL PROVIDED STALLS	20 STALLS	20 STALLS
BICYCLE PARKING	(NOT REQUIRED)	0 STALLS	16 STALLS
SERVICE LOADING BAY	(NOT REQUIRED)	0 STALLS	3 STALL

GENERAL NOTES	
<ul style="list-style-type: none">ALL BUILDINGS, CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC) BUILDING CODE PART 3, AND ALL APPLICABLE BY-LAWS. SEE CODE REVIEW REPORT AND ALTERNATIVE SOLUTIONS BY JENSEN HUGHES FOR ADDITIONAL CODE COMPLIANCE INFORMATION (JENSEN HUGHES' CODE COMPLIANCE REPORT DATED NOVEMBER 25, 2022).ALTERNATE SOLUTION PROPOSED FOR EXIT EXPOSURE AS PER CODE COMPLIANCE REPORT LISTED ABOVE.ARCHITECTURAL DRAWINGS AND NOTES SHALL BE READ IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS PREPARED BY ALL CONSULTANTS INCLUDING: STRUCTURAL, MECHANICAL, ELECTRICAL, GEOTECHNICAL, CIVIL, LANDSCAPE, ENVELOPE, CODE, ENVIRONMENTAL, INTERIOR DESIGN AND ACOUSTIC CONSULTANTS.SHOP DRAWINGS FOR PREFABRICATED ELEMENTS SHALL BE SUBMITTED FOR CONSULTANT'S REVIEW PRIOR TO FABRICATION. A LIST OF REQUIRED SUBMITTALS WILL BE PROVIDED AT THE SITE START UP MEETING.GENERAL CONTRACTOR (G.C.) SHALL REVIEW SHOP DRAWINGS PRIOR TO SUBMITTING TO THE CONSULTANTS AND SHALL INDICATE SUCH REVIEW ON THE SUBMITTAL FAILURE BY THE G.C. TO REVIEW PRIOR TO SUBMITTAL WILL RESULT IN THE SHOP DRAWINGS BEING REJECTED WITHOUT REVIEW.CONTRACTOR SHALL ALLOW MINIMUM OF 10 WORKING DAYS FOR ARCHITECTS/CONSULTANTS REVIEW.REQUESTS FOR ALTERNATES MAY BE SUBMITTED FOR REVIEW. ALLOW MINIMUM OF 10 WORKING DAYS FOR REVIEW.CONSULTANTS DRAWINGS AND SPECIFICATIONS SHALL BE REVIEWED FOR COMPLETENESS AND COORDINATION BY THE GENERAL CONTRACTOR. ANY CONFLICTS, DISCREPANCIES AND INCOMPLETE INFORMATION SHALL BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.GENERAL CONTRACTOR SHALL WARRANTY THE WORK FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL PERFORMANCE EXCEPT WHERE SPECIFIED OTHERWISE. THE CONTRACTOR SHALL PROMPTLY CORRECT, PROVIDING ALL MATERIALS AND LABOUR, DEFECTS OR DEFICIENCIES IN THE WORK WHICH APPEAR PRIOR TO AND DURING THE ONE YEAR WARRANTY PERIOD.MAINTENANCE MANUALS: SUBMIT TO THE OWNER/CONSULTANT ONE HARD COPY AND TWO DIGITAL COPIES OF PDF'S OF OPERATION AND MAINTENANCE MANUALS. MANUALS TO INCLUDE PERTINENT INFORMATION ON CLEANING AND LUBRICATION OF EQUIPMENT AND MATERIALS, FILTERS, OVERHAUL, REPLACEMENT, ADJUSTMENT AND EMERGENCY PROCEDURES AS APPLICABLE.	
MODIFICATION & FIELD REVIEW	
<ul style="list-style-type: none">MODIFICATIONS TO THE WORK OTHER THAN SPECIFIED SHALL BE REVIEWED AND CONFIRMED BY THE ARCHITECT AND RESPECTIVE CONSULTANT PRIOR TO CONSTRUCTION/INSTALLATION.GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT A MINIMUM OF 48 HOURS TO REQUIRED ARCHITECTURAL INSPECTIONS. A LIST OF REQUIRED INSPECTIONS/FIELD REVIEWS WILL BE PROVIDED AT SITE START UP MEETING.	
DIMENSIONS & SETTING OUT	
<ul style="list-style-type: none">GENERAL CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONFIRM ALL PROPERTY LINE DIMENSIONS AND BEARINGS WITH LEGAL SURVEY. ALL DISCREPANCIES WITH DRAWINGS OR SITE CONDITIONS SHALL BE REPORTED TO ARCHITECT FOR CLARIFICATION. PRIOR TO EXCAVATION, SURVEYOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO EXCAVATION. COMMENCEMENT OF WORK SHALL CONSTITUTE AN ACCEPTANCE OF CONDITION AS SATISFACTORY.DRAWINGS SHALL NOT BE SCALED. REFER TO DIMENSIONS ONLY.DIMENSIONS AT PARTY WALLS BETWEEN UNITS SHALL BE TO CENTRE -- LINE OF WALL ASSEMBLIES UNLESS NOTED OTHERWISE (U.N.O.).REFER TO SITE PLAN FOR BUILDING LOCATION AND BUILDING SETBACK DIMENSIONS.REFER TO ROOF PLANS FOR ROOF VENTING AND OVERHANGS.	
ASSURANCE / COMPLIANCE REQUIREMENTS	
<ul style="list-style-type: none">ALL WORK SUBJECT TO PERIODIC FIELD REVIEW BY THE ARCHITECT AND/OR OTHER REGISTERED PROFESSIONAL AND CONSULTING ENGINEERS NAMED ON THIS DOCUMENT, TO MEET THE AUTHORITY HAVING JURISDICTION'S LETTERS OF ASSURANCE/COMPLIANCE REQUIREMENTS.ALL WORK SHALL MEET THE STANDARDS OF THE B.C. TRADES ASSOCIATIONS REQUIREMENTS GOVERNING EACH TRADE INVOLVED.ALL WORK STARTED ON THE PROJECT BY ANY SUB-CONTRACTOR SHALL MEAN THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED AND THAT NO EXTRA CLAIM FOR COSTS SHALL BE PUT FORWARD TO MEET THE PROFESSIONAL CONSULTANT'S FIELD REVIEW REQUIREMENTS.ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR SITE SAFETY AND SHALL MEET THE REQUIREMENT OF THE WORKER'S COMPENSATION BOARD.THE GENERAL CONTRACTOR SHALL KEEP RECORD OF AND RETAIN ALL COPIES OF THE AUTHORITY HAVING JURISDICTION'S INSPECTION REPORTS, AND PROVIDE COPIES TO THE ARCHITECT AND CONSULTANTS FOR THEIR RECORDS.	

FRASER HEALTH REQUIREMENTS			
BASED ON 'LONG-TERM COMPLEX CARE BUILDING REQUIREMENTS' DATED DECEMBER 2018			
PROPOSED BEDS:		125 NOS.	
NEIGHBOURHOOD SIZES			
REQUIRED:		< 25 RESIDENTS EACH	
PROVIDED:			
LEVEL 1 - HOUSE 1:		09 BEDS	
LEVEL 1 - HOUSE 2:		24 BEDS	
LEVEL 2 - HOUSE 3:		22 BEDS	
LEVEL 2 - HOUSE 4:		24 BEDS	
LEVEL 3 - HOUSE 5:		22 BEDS	
LEVEL 3 - HOUSE 6:		24 BEDS	
LOUNGE AND RECREATION AREAS			
REQUIRED:		2.5 SQ.M. PER RESIDENT	
		REQUIRED	PROVIDED
LEVEL 1:	33 RESIDENTS x 2.5 SQ.M. =	82.5 SQ.M.	114.3 SQ.M.
LEVEL 2:	46 RESIDENTS x 2.5 SQ.M. =	115.0 SQ.M.	125.3 SQ.M.
LEVEL 3:	46 RESIDENTS x 2.5 SQ.M. =	115.0 SQ.M.	125.3 SQ.M.
TOTAL		312.5 SQ.M.	364.9 SQ.M.
DINING			
REQUIRED:		3.0 SQ.M. PER RESIDENT	
		REQUIRED	PROVIDED
LEVEL 1:	33 RESIDENTS x 3.0 SQ.M. =	99.0 SQ.M.	112.8 SQ.M.
LEVEL 2:	46 RESIDENTS x 3.0 SQ.M. =	138.0 SQ.M.	144.0 SQ.M.
LEVEL 3:	46 RESIDENTS x 3.0 SQ.M. =	138.0 SQ.M.	144.0 SQ.M.
TOTAL		375.0 SQ.M.	400.8 SQ.M.
OUTDOOR SPACE			
REQUIRED:		1.5 SQ.M. PER RESIDENT	
		REQUIRED	PROVIDED
LEVEL 1:	33 RESIDENTS x 1.5 SQ.M. =	49.5 SQ.M.	777.9 SQ.M.
LEVEL 2:	46 RESIDENTS x 1.5 SQ.M. =	69.0 SQ.M.	103.5 SQ.M.
LEVEL 3:	46 RESIDENTS x 1.5 SQ.M. =	69.0 SQ.M.	103.5 SQ.M.
TOTAL		187.5 SQ.M.	984.9 SQ.M.

RESIDENT ROOM SUMMARY					
UNIT TYPE	NO. OF ROOMS	%	AREA (SF)	AREA (m2)	
STANDARD	122	97.60 %	269.74 SF	25.06 m2	
BIATRIC	3	2.40 %	387.25 SF	35.98 m2	
	125	100.00 %			
FLOOR LEVEL	NO. OF ROOMS		TOTAL		
	STANDARD	BIATRIC			
LEVEL 1	32	01	33		
LEVEL 2	45	01	46		
LEVEL 3	45	01	46		
	122	03	125		

ABBREVIATIONS			
ACC	ACCESSIBLE	MISC.	MISCELLANEOUS
AD	ACOUSTIC TILE	N.I.C.	NOT IN CONTRACT
ACT	AREA DRAIN	N.T.S.	NOT TO SCALE
AL	ALUMINUM	NO.	NUMBER
ANOD	ANODIZED	OIP	OLD IRON POST FOUND
A.F.F.	ABOVE FINISHED FLOOR	OLP	OLD LEAD POST FOUND
BB	ELECTRICAL BASEBOARD	O.C.	ON CENTRE
B.M.	BENCH MARK	O.D.	OUTSIDE DIAMETER
B.K.G.	BLOCKING	O/O	OUT TO OUT
B.G.	BUILDING GRADE	O/A	OVERALL
BLDG	BUILDING	O.C.M.	OLD CONTROL MONUMENT
BOL	BOLLARD	P.C.	PRECAST
B.O.W	BOTTOM OF WALL	CONC.	CONCRETE
CPT	CARPET	PREFAB.	PREFABRICATED
CLG	CEILING	PREFIN	PREFINISHED
C.B.	CATCH BASIN	PROP	PROPERTY LINE
C.T.	CERAMIC TILE	PTD, P.T.	PAINTED
C.W.	COMPLETE WITH	P.L.A.M.	PLASTIC LAMINATE
CONC.	CONCRETE	P.L.Y.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNITS	R.B.	RUBBER BASE
CORR.	CORNER GUARD	R.W.	RIGHT OF WAY
C.J.	CONTROL JOINT	RWL	RAIN WATER LEADER
DIA	DIAMETER	ROLL. SH.	ROLLING SHUTTER
DJ	DRYWALL CONTROL JOINT	R.H.	RIGHT HAND
DWG	DRAWING	R. RAD.	RADIUS
EG	EXISTING GRADE	RESILIENT TILE	RESILIENT TILE
ELEV	ELEVATION	REQD.	REQUIRED
ENCL.	ENCLOSURE	REV.	REVISION
EQ	EQUAL	ROUGH OPENING	ROUGH OPENING
EXT	EXTERIOR	SD	SOAP DISPENSER
ELEC	ELECTRICAL	S.C.W.	SOLID CORE WOOD
EXIST.	EXISTING	STRUCT.	STRUCTURAL
F.F.	FINISHED FLOOR ELEVATION	S.T.C.	SOUND TRANSMISSION
FG	FINISHED GRADE	SPEC.	SPECIFICATION
FG	FIRE HOSE CABINET	S.S.	STAIN GRADE
F.E.K.T.	FIRE EXTINGUISHER	ST.	STAINLESS STEEL
F.D.	FLOOR DRAIN	S.F.	STAIR
FTD	FOUNDATION	SQ.FT.	SQUARE FEET
F.S.	FULL SIZE	STL.	STEEL
FIN	FINISH	TEL	TELEPHONE
F.O.	FINISHED OPENING	T&G	TONGUE AND GROOVE
F.R.R.	FIRE RESISTANCE RATING	TR	TREAD
GALV	GALVANIZED IRON	TYP.	TYPICAL
G.I.	GAUGE	T/O	TOP OF
GL	GLASS	T.O.W.	TOP OF WALL
G.I.S.	GOOD ONE SIDE	UNFIN.	UNDER FINISH
GRG	GLASS REINFORCED GYPSUM	U/S	UNDER SIDE
G.W.B.	GYPSUM WALL BOARD	UNIT HEATER	UNIT HEATER
H.R.	HOUR	VEST.	VESTIBULE
HDW.	HARDWARE	V.B.	VAPOUR BARRIER
H.C.W.	HOLLOW CORE WOOD	V.C.T.	VINYL COMPOSITE TILE
HDW.	HARDWOOD	V.I.F.	VERIFY IN FIELD
HT.	HORIZONTAL	V.W.C.	VINYL WALL COVERING
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.M.	HOLLOW METAL	W.C.	WATER CLOSET
H.B.	HOSE BIB	W.P.	WATERPROOFING
I.D.	INSIDE DIAMETER	WD.	WOOD
I.P.	IRON POST		
JT.	JOINT		
K.D.	KNOCK DOWN		
L.P.	LEAD P.S. 2.2.2 (14) & 3.7.2.2 (5)*		
L.D.	LAWN DRAIN		
L.H.	LEFT HAND		
L.P.	LAMP POST		
L.S.	LAMP STANDARD		
MECH.	MECHANICAL		
M.H.	MAN HOLE		
MAX.	MAXIMUM		
MET.	METAL		
MIN.	MINIMUM		
MIR	MIRROR		



ISSUED FOR BUILDING PERMIT
DECEMBER 5, 2022

BUILDING CODE SUMMARY			PROJECT CONTACT LIST		ARCHITECTURAL DRAWING LIST	
BASED ON BRITISH COLUMBIA BUILDING CODE 2018 FRASER HEALTH GUIDELINES - LONG TERM COMPLEX CARE BUILDING REQUIREMENTS DEC-2018 (AUG 2020 REVISION)			CLIENT		CONTACT	
MAJOR OCCUPANCY			GROUP B, DIVISION 2 (TREATMENT) GROUP F, DIVISION 3 (LOW-HAZARD INDUSTRIAL - PARKADE OCCUPANCIES)		BOB PAPAU (DOM SANIT MANAGEMENT INC.) T: 604-574-2059 E: bpapau@domsanti.com	
SUBSIDIARY OCCUPANCIES			GROUP A, DIVISION 2 (ASSEMBLY) GROUP D (BUSINESS AND PERSONAL SERVICES) GROUP E (MERCANTILE) GROUP F, DIVISION 3 (LOW-HAZARD INDUSTRIAL - SERVICE AND ANCILLARY ROOMS)		CONTACT SHANNON SEEFELDT T: 604-687-4741 E: shannon@ciccozziarchitecture.com	
CONSTRUCTION REQUIREMENTS			BCBC ARTICLE 3.2.2.39 (GROUP B, DIVISION 2, UP TO 3 STOREYS, SPRINKLERED) BCBC ARTICLE 3.2.2.84 (GROUP F, DIVISION 3, 3 STOREYS, SPRINKLERED)		CONTACT GIOVANNI NICORA T: 647-362-4470 E: gnicora@jensenhughes.com	
FLOOR FIRE RATINGS			1 H (EXCEPT THE SLAB BETWEEN THE PORTION OF BASEMENT ACCOMMODATING THE STORAGE GARAGE AND FIRST FLOOR WHERE THE REQUIRED FRR SHALL BE 1.5 H)		CONTACT AMAN GREWAL T: 778-975-7602 E: aman@centras.ca	
MAXIMUM PERMITTED BUILDING HEIGHT			3 STOREYS		CONTACT DAVE JERKE T: 604-546-0921 E: davej@vdx.ca	
ACTUAL BUILDING HEIGHT			3 STOREYS		STRUCTURAL JOHN ZICKMANTEL T: 604-685-9533 E: jzickmantel@korstructural.com	
MAXIMUM PERMITTED BUILDING AREA			8,000 m²		CONTACT MICHAEL RAVVA T: 604-737-3350 E: MRAiva@reg-eng.com	
ACTUAL BUILDING AREA			3,167 m²		CONTACT GREG GEISSINGER T: 604-541-0418 E: greg@pacificrimlp.com	
SPRINKLER SYSTEM			REQUIRED (TO COMPLY WITH NFPA 13 (2013), "STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS")		CONTACT MICHAEL RAVVA T: 604-737-3350 E: MRAiva@reg-eng.com	
FIRE ALARM SYSTEM			REQUIRED (TO COMPLY WITH CANULC-S524-06 "STANDARD FOR INSTALLATION OF FIRE ALARM SYSTEMS")		CONTACT GREG GEISSINGER T: 604-541-0418 E: greg@pacificrimlp.com	
STANDPIPE SYSTEM			NOT REQUIRED		CONTACT AMIR TAVAKOLI T: 250-940-6170 E: amir.tavakoli@aesengr.com	
HEALTH REQUIREMENTS			BCBC 2018, ARTICLE 3.7.2.2, AND FRASER HEALTH GUIDELINES - LONG TERM COMPLEX CARE BUILDING REQUIREMENTS DEC-2018 (AUG 2020 REVISION)		CONTACT MARY CHERNOFF T: 604-517-1444 E: mary.chernoff@telus.net	
WATER CLOSETS & LAVATORIES			ALL SANITARY FIXTURES ARE GOVERNED BY FRASER HEALTH REQUIREMENTS, WHILE MEETING AND EXCEEDING BCBC REQUIREMENTS		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
LEVEL - PARKADE P1			ARTICLE		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			TOTAL AREA OCCUPANT LOAD		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			WATERCLOSETS (NOS. TOTAL)		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			REQUIRED / PROVIDED		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			12		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			2		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			4"		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			INCLUDES MAINTENANCE WORKSHOP, MAINT. OFFICE, WHEELCHAIR WASH ROOM, STAFF LOUNGE, PRODUCTION KITCHEN, LAUNDRY, RECEIVING ROOM		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
LEVEL - 1 (OFFICE & ASSEMBLY AREAS ACCESSIBLE TO PUBLIC)			ARTICLE		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			TOTAL AREA OCCUPANT LOAD		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			WATERCLOSETS (NOS. TOTAL)		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			REQUIRED / PROVIDED		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			132		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			6		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			8"		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			INCLUDES GRAND HALL, SEATING AREAS		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			74		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			4		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			2"		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			INCLUDES OFFICE, THERAPY & EXAM ROOMS, SALON		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			10		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			10'		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
LEVEL - 1, 2 AND 3 (RESIDENT ROOMS WITHIN EACH HOUSE)			ARTICLE		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			TOTAL AREA OCCUPANT LOAD		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			WATERCLOSETS (NOS. TOTAL)		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			REQUIRED / PROVIDED		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			250		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			125		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			125		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			FOR RESIDENTIAL ROOMS		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			PER ARTICLE 3.7.2.2 (7) & FRASER HEALTH REQUIREMENTS FOR LTC - 4.4.2 (1) NO ENSUITE WITH WC, LAVATORY & SHOWER PER RESIDENT ROOM)		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
FOR STAFF AND VISITORS			PER FRASER HEALTH REQUIREMENTS FOR LTC - 4.1.2 (STAFF & VISITOR TOILET IN EACH NEIGHBOURHOOD/ HOUSE)		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			12		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			12		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
GRAND TOTAL			149		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			151*		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
NOTE:			ONLY SERVICE ROOMS INHABITED BY STAFF ARE CONSIDERED FOR OCCUPANT LOAD CALCULATIONS, WHILE STORAGE, SERVICE AND TRANSIENT SPACES ARE IGNORED TO AVOID DUPLICATION		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
			AS PER 3.7.2.2 (5), W.C.'S IN MALE WASHROOMS REPLACED BY URINALS		CONTACT CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	

PROGRESSIVE INTERCULTURAL COMMUNITY SERVICES SOCIETY (PICS) #205-12725 80 AVENUE SURREY, B.C., CANADA V3W 3A6		BOB PAPAU (DOM SANIT MANAGEMENT INC.) T: 604-574-2059 E: bpapau@domsanti.com	
CICCOZZI ARCHITECTURE 5TH FLOOR - 1005 WEST PENDER STREET, VANCOUVER, B.C., CANADA V6E 2M6		SHANNON SEEFELDT T: 604-687-4741 E: shannon@ciccozziarchitecture.com	
JENSEN HUGHES 1168 WEST BROADWAY, SUITE 228, VANCOUVER, B.C., CANADA V6H 3X5		GIOVANNI NICORA T: 647-362-4470 E: gnicora@jensenhughes.com	
CENTRAS ENGINEERING LTD. 218-2630 CROYDON DRIVE SURREY, B.C., CANADA V3S 6T3		AMAN GREWAL T: 778-975-7602 E: aman@centras.ca	
VAN DER ZALM & ASSOCIATES 102-355 KINGSWAY VANCOUVER, B.C., CANADA V5J 3J7		DAVE JERKE T: 604-546-0921 E: davej@vdx.ca	
KOR STRUCTURAL 501-510 BURRARD STREET, VANCOUVER, B.C., CANADA V6C 3A8		JOHN ZICKMANTEL T: 604-685-9533 E: jzickmantel@korstructural.com	
REINBOLD ENGINEERING GROUP 400, 1580 WEST BROADWAY, VANCOUVER, B.C., CANADA V6J 5K8		MICHAEL RAVVA T: 604-737-3350 E: MRAiva@reg-eng.com	
PACIFIC RIM DESIGN GROUP 1725 196 ST. SURREY, B.C., CANADA V3Z 9V2		GREG GEISSINGER T: 604-541-0418 E: greg@pacificrimlp.com	
AES ENGINEERING 505 BURRARD STREET, VANCOUVER, B.C., CANADA V7X 1M4		AMIR TAVAKOLI T: 250-940-6170 E: amir.tavakoli@aesengr.com	
IN-HOUSE DESIGN SERVICES LTD. 1523 7TH AVENUE, NEW WESTMINSTER, B.C., CANADA V2M 2K2		MARY CHERNOFF T: 604-517-1444 E: mary.chernoff@telus.net	
JRS ENGINEERING 300 - 4595 CANADA WAY, BURNABY, B.C., CANADA V5G 1J9		CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
BC PLAN HEALTHCARE 18465 53 AVENUE SURREY, B.C., CANADA V3S 7T4		TOM WALZ T: 604-575-8727 E: tom@bcplanthealthcare.com	
JRS ENGINEERING 300 - 4595 CANADA WAY, BURNABY, B.C., CANADA V5G 1J9		CHRIS LUNG T: 604-320-1999 E: clung@jrsengineering.com	
BUNT AND ASSOCIATES ENGINEERING #1150, EAST PENDER STREET VANCOUVER, B.C., CANADA V6S 3S7		CHRISTOPHER CHENG T: 604-685-6427 E: ccheng@bunteng.com	
BROWN STRACHAN 130-1020 MAINLAND ST. VANCOUVER, B.C., CANADA V6B 2T5		AARON PETERSON T: 604-689-0514 E: bsa@brownstrachan.com	
GUNN CONSULTANTS 166-1020 MAINLAND ST. VANCOUVER, B.C., CANADA V6B 2T5		TONY WU T: 604-630-2276 E: tony@gunnconsultants.com	
BURNSTAD CONSULTING 311 - 316 WINDMERE RD. EDMONTON, AB, CANADA T6W 2Z8		DALE BURNSTAD T: 780-414-6116 E: dale@burnstadconsulting.com	

VICINITY PLAN

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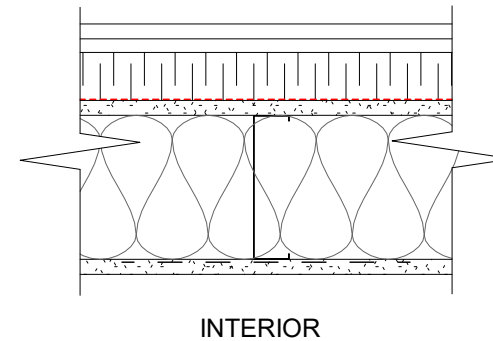
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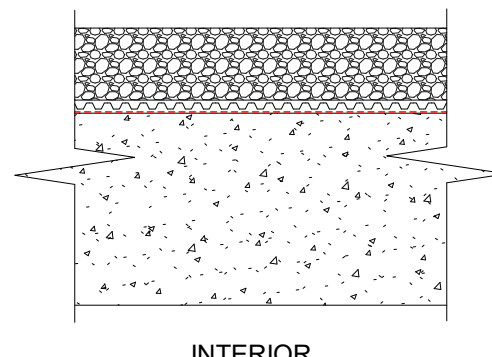
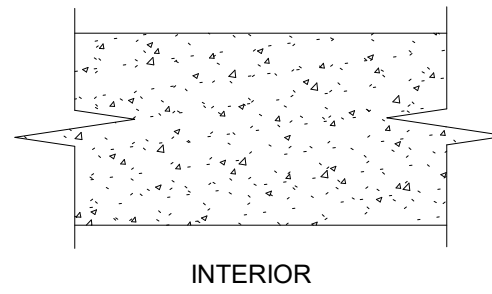
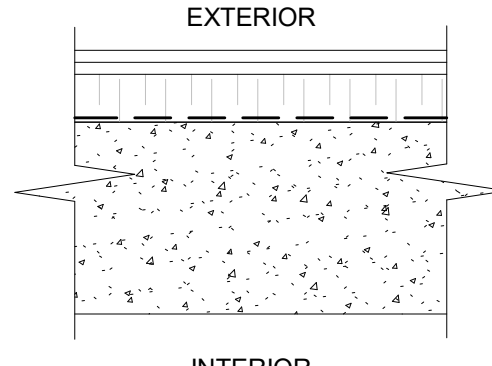
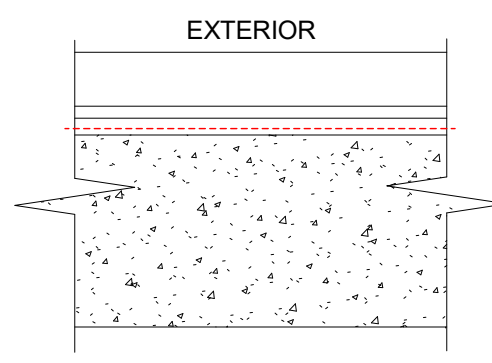
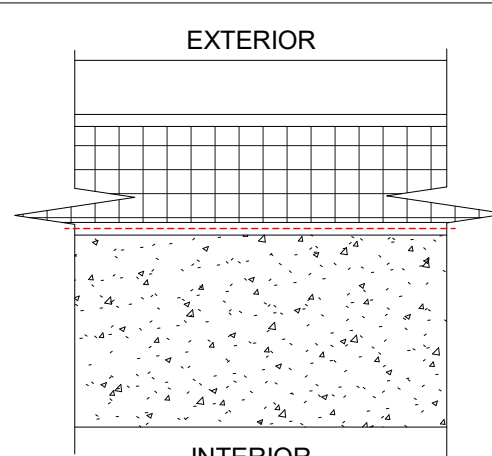
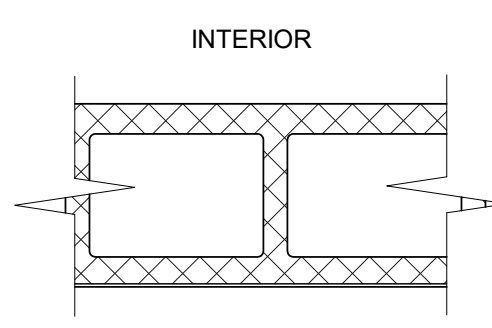
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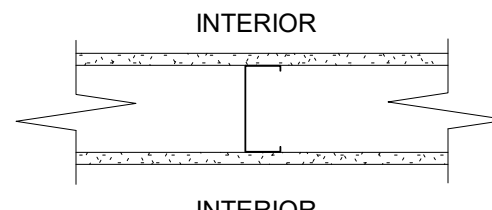
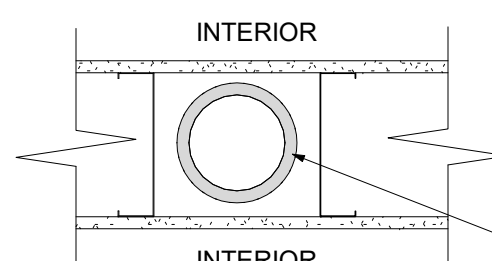
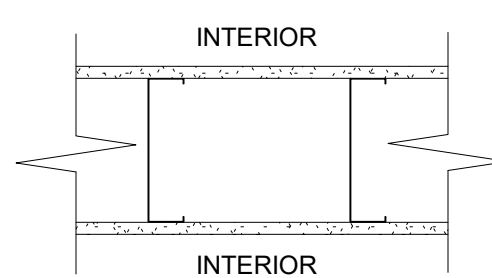
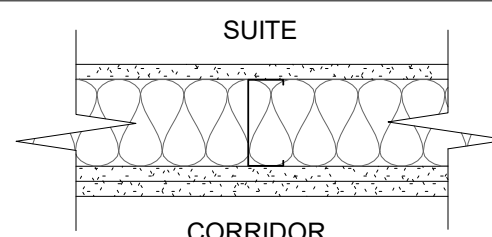
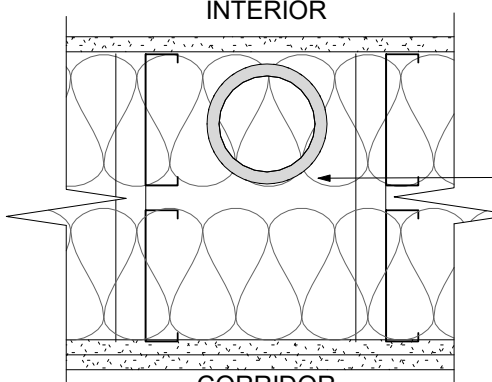
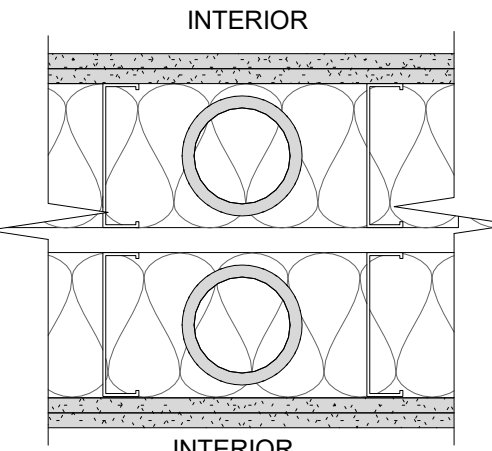
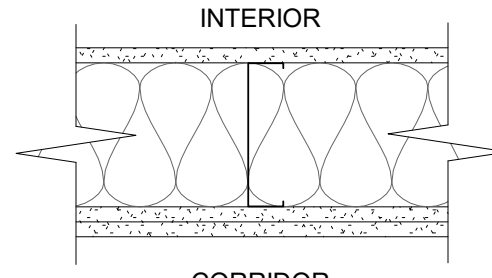
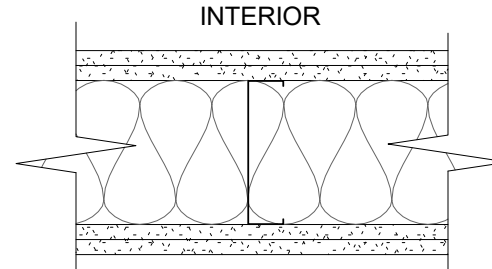
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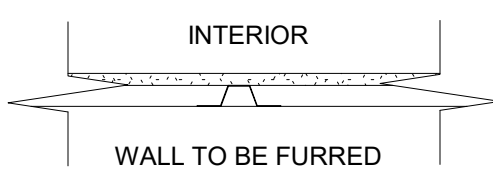
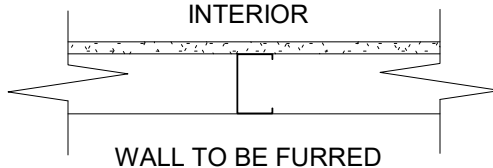
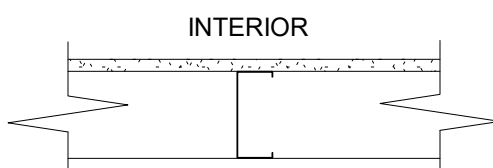
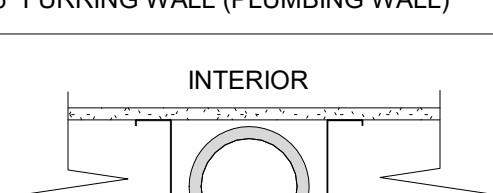
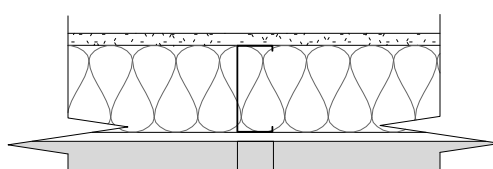
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EXTERIOR WALLS (NON-COMBUSTIBLE)		ASSEMBLY	ASSEMBLY SOURCE	F.R.R.	S.T.C.
EW1	EXTERIOR WALL WITH CERACLAD (2" RIGID INSULATION)	<div><div>EXTERIOR</div><div>INTERIOR</div></div>	ULC #V454 - <		

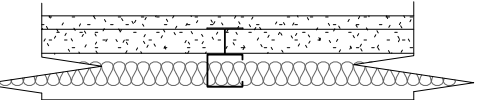
PARKADE WALLS			ASSEMBLY	ASSEMBLY SOURCE	F.R.R.	S.T.C.
CW1	CAST-IN-PLACE CONCRETE WALL (EXT. WALL BELOW GRADE)					
	<div><div>BELOW GRADE</div><div>INTERIOR</div></div>	FREE DRAINING GRANULAR FILL (REFER GEOTECHNICAL DETAILS) DRAIN MAT CW TERM BAR AT THE TOP WATERPROOFING MEMBRANE (TO BE FABRIC REINFORCED AT JOINTS), SPRAY APPLIED WATERPROOFING AS SPECIFIED (60 DRY MILS), TO MINIMUM 4" ABOVE GRADE TO FOOTING CONCRETE WALL (THICKNESS AS PER STRUCTURAL), PAINTED ON INTERIOR SIDE	BCBC 2018 DIV. B TABLE D-2.1.1.	2HR	N/A	
CW2	CAST-IN-PLACE CONCRETE WALL (INTERIOR WALL)					
	<div><div>INTERIOR</div><div>INTERIOR</div></div>	CONCRETE WALL (THICKNESS AS PER STRUCTURAL) PAINTED (BOTH SIDES)	BCBC 2018 DIV. B TABLE D-2.1.1.	2HR	N/A	
CW3	CAST-IN-PLACE CONCRETE WALL (EXT. WALL WITH CERACLAD)					
	<div><div>EXTERIOR</div><div>INTERIOR</div></div>	CERACLAD PANEL (NON-COMBUSTIBLE PRODUCT CAN/ULC-S114) - REFER TO PLANS & ELEVATIONS FOR EXTENT OF CERACLAD PANEL SIDING PANEL CLIPS @ 16" O/C (FASTENED INTO STEEL ANGLE) 2" ISOLIP WITH GALVANIZED STEEL ANGLE (FASTENED INTO STUDS AND SIZED TO ACHIEVE 3/4" RAINSCREEN) 2" EXTERIOR MINERAL WOOL (R9) FULLY ADHERED, VAPOUR PERMEABLE AIR/MOISTURE BARRIER CONCRETE WALL (THICKNESS AS PER STRUCTURAL) FURRING/ FINISH AS PER ARCHITECTURE / INTERIOR DRAWINGS	N/A	N/A	N/A	
CW4	CAST-IN-PLACE CONCRETE WALL (EXT. WALL WITH STONE VENEER)					
	<div><div>EXTERIOR</div><div>INTERIOR</div></div>	STONE VENEER MORTAR SETTING BED MORTAR SCRATCH COAT LATH MORTAR SCREEN WRB (REFER TO PLANS & ELEVATIONS FOR EXTENT OF STONE VENEER) RAINSREEN STRAPPING FULLY ADHERED, VAPOUR PERMEABLE AIR/MOISTURE BARRIER CONCRETE WALL (THICKNESS AS PER STRUCTURAL) FURRING/ FINISH AS PER ARCHITECTURE / INTERIOR DRAWINGS	N/A	N/A	N/A	
CW5	CAST-IN-PLACE CONCRETE WALL (INSULATED EXT. WALL WITH STONE VENEER)					
	<div><div>EXTERIOR</div><div>INTERIOR</div></div>	STONE VENEER MORTAR SETTING BED MORTAR SCRATCH COAT LATH MORTAR SCREEN WRB (REFER TO PLANS & ELEVATIONS FOR EXTENT OF STONE VENEER) RAINSREEN STRAPPING 4"THK. RIGID INSULATION FULLY ADHERED, VAPOUR PERMEABLE AIR/MOISTURE BARRIER CONCRETE WALL (THICKNESS AS PER STRUCTURAL)	N/A	N/A	N/A	
CB1	MASONRY WALL (CMU)					
	<div><div>INTERIOR</div><div>INTERIOR</div></div>	CONCRETE BLOCK (THICKNESS AS PER STRUCTURAL) PAINTED - MINIMUM 2 COATS (CONTINUE RATING OF TOP OF WALL TO U/S OF SLAB)	UL #U904 CAN/ULC-S101 -	2HR	N/A	

INTERIOR WALLS (NON-COMBUSTIBLE)			ASSEMBLY	ASSEMBLY SOURCE	F.R.R.	S.T.C.
IW1	3 5/8" INTERIOR PARTITION WALL					
		1/2" G.W.B. 3 5/8" STEEL STUDS @ 16" O.C. 1/2" G.W.B. OR TYPE "X" G.W.B.	ULC #U407	1HR (WHERE REQUIRED)	N/A	
IW2	6" INTERIOR PARTITION WALL (PLUMBING WALL)					
		1/2" G.W.B. 6" STEEL STUDS @ 16" O.C. 1/2" G.W.B. OR TYPE "X" G.W.B. PIPE INSULATION, AS REQUIRED REFER MECHANICAL DRAWINGS FOR DETAILS	ULC #U407	1HR (WHERE REQUIRED)	N/A	
IW2A	6" INTERIOR PARTITION WALL					
		1/2" G.W.B. 6" STEEL STUDS @ 16" O.C. 1/2" G.W.B.	N/A	N/A	N/A	
IW3	3 5/8" CORRIDOR PARTITION WALL					
		5/8" TYPE "X" G.W.B. 3 5/8" STEEL STUDS @ 16" O.C. 3 5/8" (R-12) BATT INSULATION TWO LAYERS OF 5/8" TYPE "X" G.W.B.	ULC #W401 BCBC 2018 DIV 9 TABLE 9.10.3.1-A S5b	1HR	52	
IW4	12" PARTITION CHASE WALL (PLUMBING)					
		5/8" TYPE "X" G.W.B. 5 1/2" STEEL STUDS - DOUBLE LAYER, BRACED @ 16" O.C. BATT INSULATION TWO LAYERS OF 5/8" TYPE "X" G.W.B. PIPE INSULATION, AS REQUIRED REFER MECHANICAL DRAWINGS NOTE: • NO INSULATION BETWEEN PIPE AND GWB, NO CONTACT BETWEEN PIPE AND METAL STUDS OR GWB • EXTRA LAYER OF 1/2" G.W.B. (WATER RESISTANT) BEHIND BATHTUBS/SHOWER	ULC #U466 NRC-TL-93-304	1HR	59	
IW5	16" PARTITION CHASE WALL (PLUMBING)					
		TWO LAYERS OF 5/8" TYPE "X" G.W.B. 6" STEEL STUDS @ 16" O.C. W/ 6" SOUND BATT INSULATION, 1.5" AIR GAP (AIR GAP DIFFERS, SPECIFIED ON PLANS). 6" STEEL STUDS @ 16" O.C. W/ 6" SOUND BATT INSULATION NOTE: • GWB CUSSETS AT ALL STUDS; CUT BACK 1/2" FROM EDGE ATTACHED W/ MIN. 8 SCREWS • NO INSULATION BETWEEN PIPE AND GWB, NO CONTACT BETWEEN PIPE AND METAL STUDS OR GWB • EXTRA LAYER OF 1/2" G.W.B. (WATER RESISTANT) BEHIND BATHTUBS/SHOWERS	ULC #W484 NRC-TL-93-321	1HR	65	
IW6	6" PARTITION WALL					
		5/8" TYPE "X" G.W.B. 6" STEEL STUDS @ 24" O.C. BATT INSULATION TWO LAYERS OF 5/8" TYPE "X" G.W.B.	ULC #W401 BCBC 2018 DIV 9 TABLE 9.10.3.1-A S5a	0 HR	53	
IW7	6" CORRIDOR PARTITION WALL					
		TWO LAYERS OF 5/8" TYPE "X" G.W.B. 6" STEEL STUDS @ 24" O.C. BATT INSULATION TWO LAYERS OF 5/8" TYPE "X" G.W.B.	ULC #V418 BCBC 2018 DIV 9 TABLE 9.10.3.1-A S5a	2HR	56	

FURRING WALLS (NON-COMBUSTIBLE)			ASSEMBLY	ASSEMBLY SOURCE	F.R.R.	S.T.C.
FW1	7/8" FURRING WALL		1/2" G.W.B. 7/8" RESILIENT CHANNEL @ 16" O.C.	N/A	N/A	N/A
FW2/ FW2A	2 1/2" FURRING WALL		1/2" G.W.B. 2 1/2" STEEL STUDS @ 16" O.C. FW2A: ADD 2 1/2" (R-11+) EXTRUDED POLYSTYRENE BOARD PERIMETER INSULATION AT FOUNDATIONS FOR WARM SPACES BELOW GRADE	N/A	N/A	N/A
FW3	3 5/8" FURRING WALL		1/2" G.W.B. 3 5/8" STEEL STUDS @ 16" O.C.	N/A	N/A	N/A
FW4	6" FURRING WALL (PLUMBING WALL)		1/2" G.W.B. 6" STEEL STUDS @ 16" O.C. PIPE INSULATION, AS REQUIRED REFER MECHANICAL DRAWINGS FOR DETAILS	N/A	N/A	N/A
FW5	3 5/8" FURRING WALL (BEHIND WINDOW WALL SPANDREL PANELS)		1/2" G.W.B. 6 MIL POLYETHYLENE VAPOUR BARRIER 3 5/8" STEEL STUDS @ 16" O.C. 3 5/8" (R-12) BATT INSULATION WINDOW WALL C/W INSULATED SPANDREL PANEL	N/A	N/A	N/A

<p>WALL ASSEMBLY GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. ALL STUDS TO EXTEND UP TO UNDERSIDE OF STRUCTURE/SLAB UNLESS OTHERWISE NOTED. 2. PROVIDE OPENINGS IN G.W.B. AS REQUIRED FOR MECHANICAL/ELECTRICAL SERVICES. ACOUSTIC CAULK PENETRATIONS & FIRE STOP IN RATED SEPARATIONS. 3. FOR ALL MOUNTED FIXTURES, EQUIPMENT & MILLWORK PROVIDE PLYWOOD BACKING FOR SUPPORT. 4. PROVIDE 3/4" PLYWOOD BACKING IN BATHTUB ENCLOSURES AND TOILETS FOR FUTURE ACCESSIBILITY. 5. IN WASHROOMS AND SHOWERS FOR SUITES AND AMENITY SPACES PROVIDE ADDITIONAL LAYER OF CEMENTITIOUS BOARD ON THE SHOWER OR W.C. SIDE OF ALL WALLS WHICH ARE SCHEDULED TO RECEIVE A TILE FINISH. ALL ASSEMBLIES TO EXTEND TO THE U/S OF STRUCTURE. 6. FOR ALL WALLS FOR WHICH A REFERENCE IS MADE TO U/C DESIGN CONTRACTOR IS TO REFER TO ACTUAL DESIGN LISTING FOR EXACT DESCRIPTION AND CONSTRUCTION OF WALL ASSEMBLY.
<p>INTERIOR WALL GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. TOP FLOOR VERTICAL FIRE SEPARATIONS ARE REQUIRED TO BE CONTINUOUS TO THE U/S OF ROOF SHEATHING. 2. ALL WALLS DEMISING UNITS FROM EACH OTHER, PUBLIC CORRIDORS & SERVICE ROOMS/SHAFTS TO HAVE ACOUSTIC CAULK BOTH SIDES OF WALLS BETWEEN FLOOR & SILL PLATE. 3. FIRESTOPPING SYSTEMS: <ol style="list-style-type: none"> 3.1 ALL SERVICE PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE TIGHTLY FITTED, AND ANY REMAINING GAP TO BE SEALED WITH A ULC RATED FIRESTOP CAULKING THAT MATCHES THE FRR OF THE ASSEMBLY. 3.2 SERVICE PENETRATIONS THROUGH FIRE BLOCKS MUST BE FIRE-STOPPED. 3.3 ALL DUCTING PENETRATION THROUGH FIRE RATED ASSEMBLIES TO HAVE EITHER FIRE-DAMPER OR BE ENCLOSED WITH AN ASSEMBLY WITH EQUIVALENT FRR. 4. ON FIRE SEPARATION ASSEMBLY WHERE SERVICES REQUIRE AN OPENING GREATER THAN 25 SQ. INCHES (E.G. DIVERTER AT TUB/VANTY) PROVIDE 5 SIDED GWB RATED BOX (MUDDED AND TAPED) THAT MATCHES THE FRR OF THE ASSEMBLY. 5. PLUMBING LINES AND DRAINS ARE NOT TO BE RUN IN EXTERIOR WALLS. 6. MUD RINGS W/O SEALED JOINTS ARE TO BE LOCATED ON INTERIOR WALLS ONLY (E.G. CABLE ROUGH IN)
<p>ACOUSTIC SEPARATION GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. PROVIDE ACOUSTIC SEALANT AT EDGE, BASE AND HEAD OF ALL WALLS BETWEEN STUD FACE AND ADJACENT SURFACE – BOTH SIDES OF WALL TYP. 2. ALL MECHANICAL RISERS & STACKS TO BE WRAPPED WITH ACOUSTICAL INSULATION. 3. NO CONTACT BETWEEN PIPING (SUPPLY & DWV) & CEILING OR WALL, GWB & FRAMING. 4. IN SUSPENDED CEILING 2" AIR GAP PROVIDED 1 1/2" ACOUSTIC BATTS. IN 10" PROVIDE 3 1/2" ACOUSTIC BATTS. 5. ENSURE CEILING GWB SCREWS PENETRATE ONLY THE RESILIENT CHANNEL, NOT Z-BAR. 6. WASTE STACKS ARE NOT TO TOUCH STRUCTURE. PROVIDE SUITABLE NEOPRENE ISOLATOR PADS. 7. PROVIDE R-12 ACOUSTIC BATTS TO U/S OF BATH TUBS AND SHOWER PANS. 8. ALL WASHER/DRYER WALLS TO HAVE ACOUSTIC BATTS & ACOUSTIC SEALANT TOP & BOTTOM SIDES OF WALL.
<p>BUILDING ENVELOPE AND EXTERIOR WALL GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. ALL FRAMING ON CONCRETE MUST BE SEPARATED FROM THE CONCRETE WITH FOAM GASKETS. 2. ENSURE THAT THE WINDOW HEAD FLASHINGS (C/W A 4" HIGH BACK LEG) ARE PLACED SO THAT THE END DAMS RUN PAST OUTER EDGES OF THE WINDOWS BY 3/8". 3. VINYL WINDOWS REQUIRE SILL SUPPORT AT THE BOTTOM EDGE. CARE SHALL BE TAKEN TO ENSURE THAT THE MEMBRANE IS NOT TORN OR PUNCTURED. RETURN MEMBRANE AT THE BACK OF THE SILL AND 6" UP EACH SIDE (AT JAMB). A BEAD OF URETHANE CAULKING SHALL BE PROVIDED AT THE WINDOW FRAME TO THE PEEL AND STICK MEMBRANE INTERFACE TO PROVIDE A BACK DAM. 4. APPROVED PRIMERS SHALL BE USED WITH ALL PEEL AND STICK PRODUCTS. 5. FULLY ADHERED AIR/MOISTURE BARRIER MUST BE APPLIED AS A CONTINUOUS LAPPED MEMBRANE TO FORM THE MOISTURE BARRIER. ENSURE THERE ARE NO HOLES IN THE MOISTURE BARRIER. THE MOISTURE BARRIER MUST BE COMPLETE WITH ALL DETAILS AND INSPECTED BEFORE BEING COVERED BY ANY CLADDING. 6. ALL HORIZONTAL "J" TRIMS SHALL BE PERFORATED C/W 3/16" HOLES @ 16" O/C. 7. ALL EXTERIOR DOORS SHALL BE SET INTO 2 CONTINUOUS BEADS BEADS OF URETHANE SEALANT (TO RUN UP THE SIDE JAMBS 4") PRIOR TO INSTALLING THE DOORS. THE DOOR FRAME BRICK MOULDS SHALL ALSO BE CAULKED. 8. ALL THROUGH WALL FLASHINGS SHALL BE C/W A 4" HIGH BACK LEG. ALL HORIZONTAL LAPS SHALL BE S-LOCK JOINTS. A THROUGH WALL FLASHING IS REQUIRED AT ALL HORIZONTAL EXPANSION JOINTS, AND AT EACH FLOOR LEVEL (TYPICAL). 9. ALL EXTERIOR FASTENERS & SCREWS MUST BE ACQ. RATED. 10. VENT HOODS FOR FRESH AIR, RANGE HOOD AND BATHROOM EXHAUST TO BE VINYL; ALL VENTS MUST BE APPROVED BEFORE INSTALLING. 12. ALL EXTERIOR HOSE BIBS ARE TO BE SEALED TO THE FULLY ADHERED AIR/MOISTURE BARRIER WITH CONFORMABLE/FLEXIBLE SELF ADHERED MEMBRANE. 13. ALL EXTERIOR, NON-INSULATED STRUCTURAL WOOD ELEMENTS (I.e. 6x6 SUPPORT POSTS, STUD FRAMING, DECK FRAMING) SHALL BE PRESSURE TREATED. 14. ALL MEMBRANES AND SEALANTS MUST BE APPROVED AND SAMPLES OF ALL VENTS, CAPS OR DUCTS THAT PENETRATE THE ENVELOPE OR ROOF MUST BE PROVIDED BEFORE INSTALLATION BEGINS. 15. FLASHINGS TO BE FABRICATED, INSTALLED AND FASTENED TO RCBC STANDARDS. MINIMUM 24 GA. BAKED ENAMEL FINISH, FOLDED END DAMS AT TERMINATIONS. MINIMUM 1/2" DRIP EDGE & SLOPE OF 150 DEGREES. FLASHING JOINTS TO BE S-LOCK C/W BACK CAULK. USE LARGEST PIECES POSSIBLE TO MINIMIZE JOINTS. 16. REFER TO CODE COMPLIANCE DRAWINGS FOR EXTERIOR WALL FIRE RESISTANCE RATINGS WHERE NEEDED FOR SPATIAL SEPARATION OR EXIT EXPOSURE. 17. PVC WATERSTOPS ARE REQUIRED AT ALL VERTICAL CONCRETE COLD JOINT LOCATIONS AT EXTERIOR FOUNDATIONS WALLS BELOW GRADE. 18. ALL EXTERIOR CLADDING TO CONFORM TO 3.1.4.8. (NON COMBUSTIBLE PER CAN/ULC-S114, OR AN ASSEMBLY MEETING CAN/ULC-S134)

PARTY WALLS (NON-COMBUSTIBLE)						
ASSEMBLY			ASSEMBLY SOURCE	F.R.R.	S.T.C.	
P.W.I.	PARTY WALL					
	<div><div>SUITE</div><div>SUITE</div></div>	<div>TWO LAYERS OF 1/2" TYPE "X" G.W.B. 3 5/8" STEEL STUDS @ 16" O.C. 1 1/2" SOUND BATT INSULATION 1" AIR GAP 2 1/2" SOUND BATT INSULATION 3 5/8" STEEL STUDS @ 24" O.C. TWO LAYERS OF 1/2" TYPE "X" G.W.B. NOTE: OFFSET ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL BY ONE STUD SPACE AND INSTALL ACOUSTIC CAULKING AT PERIMETER OF GYPSUM BOARD</div>	<div>ULC #W484 NRC-TL-93-305</div>	<div>1HR</div>	<div>62</div>	

SHAFT WALLS (NON-COMBUSTIBLE)					
ASSEMBLY			ASSEMBLY SOURCE	F.R.R.	S.T.C.
SV1	VERTICAL SHAFT WALL				
	<div>SHAFT</div> <div></div> <div>INTERIOR</div>	<div>1" G.W.B. TYPE "XC" SHAFTLINER 2 1/2" C-T SHAPED STUDS @ 24" O.C. "CERTAINTeed" INSULATION (AT ALL SUITES AND AMENITY) 1/2" RESILIENT METAL CHANNELS 2 LAYERS OF 1/2" G.W.B. PROROC MOISTURE AND MOLD RESISTANCE TYPE "C" CONTINUOUS BETWEEN ADJACENT FIRE SEPARATIONS</div>	<div>ULC #U417 SYSTEM C</div> <div>2 HR</div> <div>90</div> <div>RAL 437362 1976</div>		

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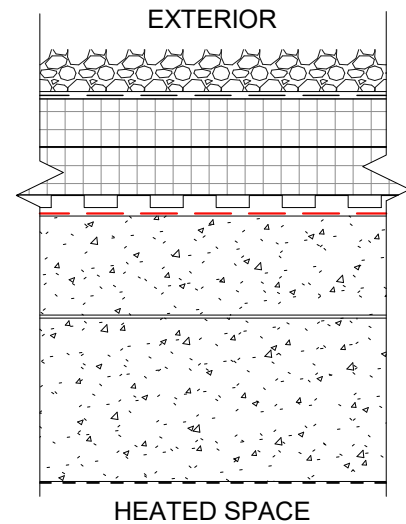
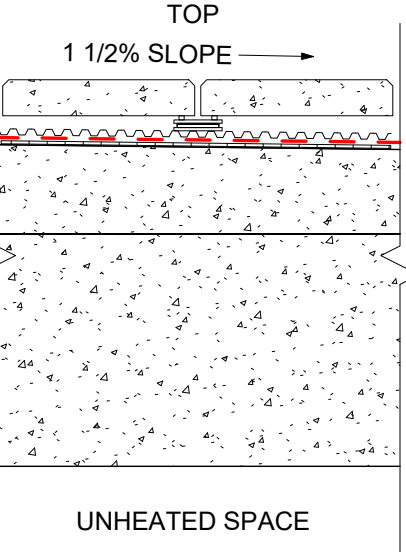
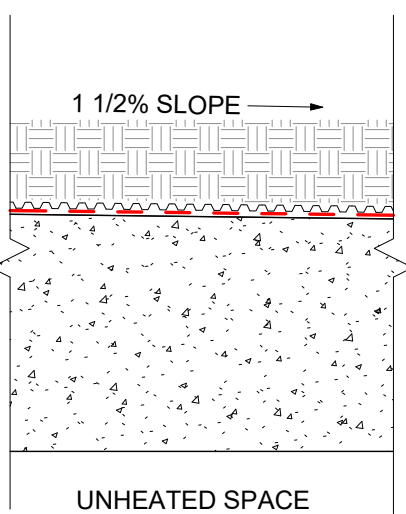
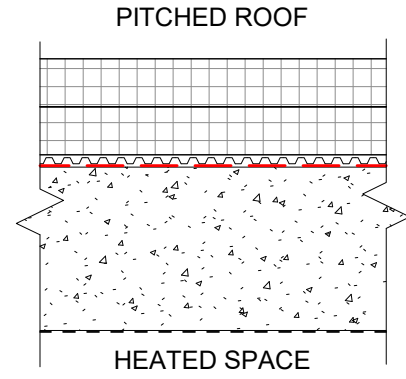
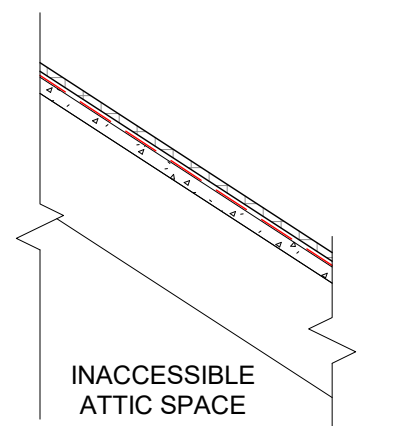
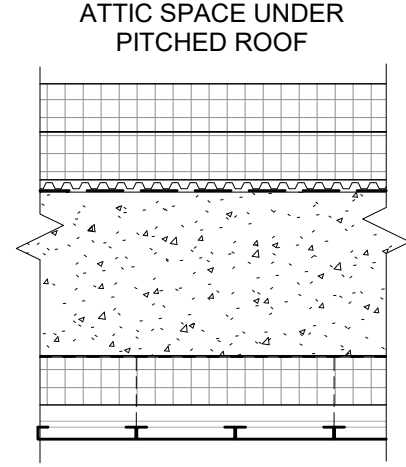
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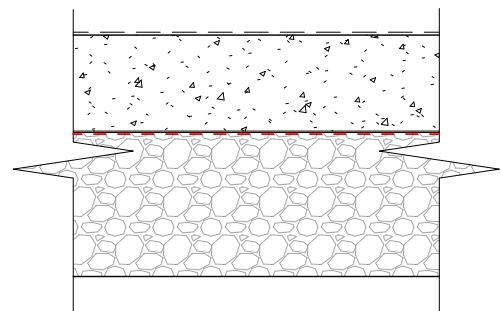
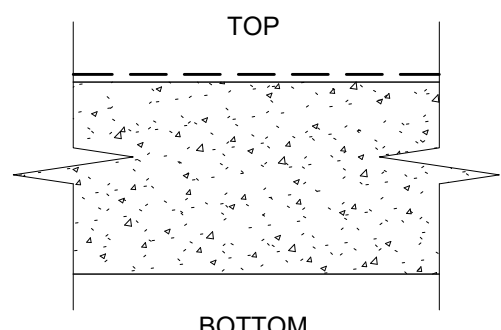
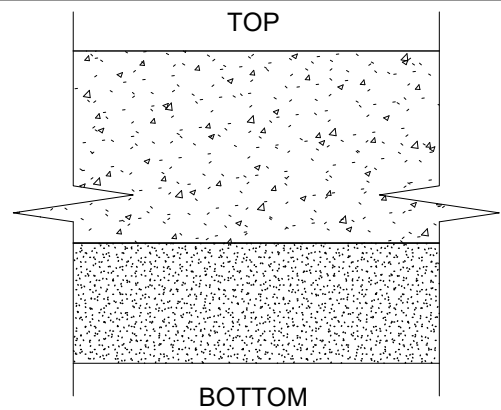
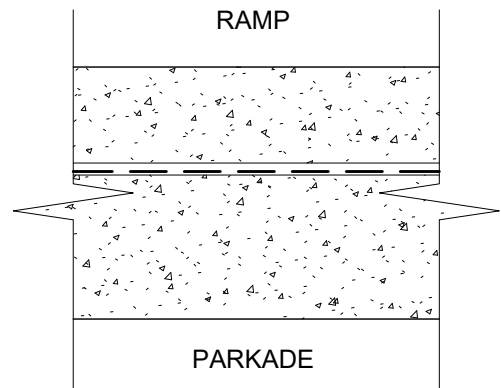
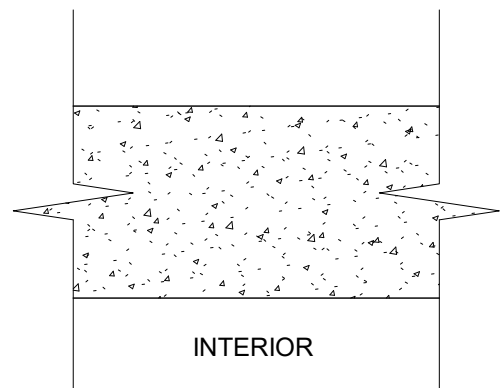
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WALL ASSEMBLY SCHEDULE

REV. NO.: SHEET NO.:

A0.20

ROOF ASSEMBLIES (NON-COMBUSTIBLE)			ASSEMBLY SOURCE	F.R.R.	S.T.C.
ASSEMBLY					
R1	TYPICAL FLAT ROOF ABOVE HEATED SPACE (ROOF)				
		GRAVEL BALLAST FILTER FABRIC R-30 MIN. RIGID INSULATION INSTALLED IN TWO LAYERS W/ STAGGERED JOINTS. DRAINAGE MAT W/ FILTER FABRIC. WATERPROOFING MEMBRANE RETURNS UP ALONG WALLS MIN. 8" ABOVE FINISHED SURFACE. 6" CONCRETE TOPPING W/ MIN. 2% SLOPE TO DRAIN (THICKNESS PER STRUCTURAL). SUSPENDED STRUCTURAL SLAB CEILING FINISH AS PER REFLECTED CEILING PLANS *NOTE: PROVIDE PAVERS AS REQUIRED FOR SERVICE USE	N/A	N/A	N/A
R2	TYPICAL ROOF DECK OVER UNHEATED SPACE (PARKADE)				
		CONCRETE PAVERS ON LEVELING RUBBER PEDESTALS HIGH COMPRESSION DRAIN MAT WITH FILTER FABRIC 2-PLY SBS ROOF (WATER PROOFING) MEMBRANE 4" CONCRETE TOPPING WITH MIN 1-1/2% SLOPE TO DRAIN STRUCTURAL SLAB (THICKNESS AS PER STRUCTURAL)	N/A	N/A	N/A
R3	FLAT ROOF WITH EXTENSIVE GREEN ROOF OVER UNHEATED SPACE (PARKADE)				
		GROWING MEDIUM POLYPROPYLENE OR POLYETHYLENE DRAIN MAT W/ FILTER FABRIC ROOT BARRIER 2-PLY SBS ROOF MEMBRANE STRUCTURAL SLAB WITH MIN 1-1/2% SLOPE TO DRAIN	N/A	N/A	N/A
R4	TYPICAL FLAT ROOF ABOVE HEATED SPACE (ROOF ATTIC / INACCESSIBLE ROOF)				
		R-30 MIN. MINERAL FIBER INSULATION INSTALLED IN TWO LAYERS W/ STAGGERED JOINTS DRAINAGE MAT WATERPROOFING MEMBRANE RETURNS UP ALONG WALLS MIN. 8" ABOVE FINISHED SURFACE SUSPENDED STRUCTURAL SLAB W/ MIN. 2% SLOPE TO DRAIN (THICKNESS PER STRUCTURAL). CEILING FINISH AS PER REFLECTED CEILING PLANS	N/A	N/A	N/A
R6	TYPICAL FLAT ROOF ABOVE HEATED SPACE (ROOF ATTIC / INACCESSIBLE ROOF)				
		ASPHALT SHINGLES SELF-ADHERED MEMBRANE OR 2-LAYERS LAMINATED ROOFING FELT 3/4" THICK PRESSURE TREATED PLYWOOD SHEATHING ENGINEERED STEEL STUD FRAMING AT 24" O.C. MAX. (AS PER STRUCTURAL DESIGN)	N/A	N/A	N/A
R7	TYPICAL FLAT ROOF OVER BALCONIES (OVER BALCONIES AND UNDER ROOF ATTIC / INACCESSIBLE ROOF)				
		R-30 MIN. MINERAL FIBER INSULATION INSTALLED IN TWO LAYERS W/ STAGGERED JOINTS DRAINAGE MAT WATERPROOFING MEMBRANE RETURNS UP ALONG WALLS MIN. 8" ABOVE FINISHED SURFACE SUSPENDED STRUCTURAL SLAB W/ MIN. 2% SLOPE TO DRAIN (THICKNESS PER STRUCTURAL) 2 1/2" RIGID INSULATION SOFFIT METAL CEILING PANELS WITH WOOF FINISH	N/A	N/A	N/A

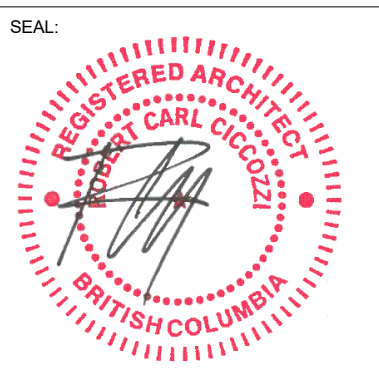
FLOOR ASSEMBLIES (NON-COMBUSTIBLE)			ASSEMBLY SOURCE	F.R.R.	S.T.C.
F1	CONCRETE SLAB ON GRADE	 <p>VEHICULAR TRAFFIC COATING (AS INDICATED) CONCRETE SLAB (THICKNESS AS PER STRUCTURAL), SLOPE TO DRAIN 10 MIL. POLY VAPOUR BARRIER TAPED & SEALED AT ALL PENETRATIONS CLEAN, COURSE AND FREE-DRAINING GRANULAR LAYER (W/ FREE HYDRAULIC CONNECTION TO PERIMETER DRAINAGE) COMPACTED SUB BASE (AS PER GEOTECHNICAL REPORT)</p>	N/A	N/A	N/A
F2	SUSPENDED SLAB	 <p>ELASTOMERIC COATING SUSPENDED CONCRETE SLAB (THICKNESS AS PER STRUCTURAL) REFER TO PLANS FOR SLOPE TO DRAIN (MIN. 2%)</p>	BCBC 2018 DIV B TABLE D-2.2.1-A TABLE 9.10.3.1-B F1b	2HR	52
F3	SUSPENDED SLAB (HEATED SPACE OVER PARKADE OR SERVICE ROOM)	 <p>FLOOR FINISH (SEE INTERIOR DRAWINGS) ON APPROVED UNDERLAY (SEE ENVELOPE) SUSPENDED CONCRETE SLAB (THICKNESS AS PER STRUCTURAL) 5" (R-20) SPRAY INSULATION TO U/S OF SLAB, TAMPED, CONTINUOUS ABOVE DUCTS & PIPE RUNS, UNDER & BEYOND EDGE OF ALL HEATED SPACES ABOVE</p>	BCBC 2018 DIV B TABLE D-2.2.1-A TABLE 9.10.3.1-B F1b	2HR	52
F4	SANDWICH SLAB (AT RAMP)	 <p>VEHICULAR TRAFFIC COATING 4" +/- CONCRETE TOPPING HIGH COMPRESSION DRAIN MAT WITH FILTER FABRIC 2 PLY SBS WATERPROOF MEMBRANE STRUCTURAL SLAB (THICKNESS AS PER STRUCTURAL)</p>	N/A	N/A	N/A
F5	RESIDENTIAL FLOOR OVER HEATED SPACE	 <p>FLOOR FINISH (SEE INTERIOR DRAWINGS) ON APPROVED UNDERLAY (SEE ENVELOPE) SUSPENDED CONCRETE SLAB (THICKNESS AS PER STRUCTURAL)</p>	BCBC 2018 DIV B TABLE D-2.2.1-A TABLE 9.10.3.1-B F1b	2HR	64

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VILLAGE**

6471 175A STREET
SURREY, BC

DRAWN BY: SK	CHECKED BY: RC
SCALE: 1 1/2" = 1'-0"	PROJECT NO.: CA638

**FLOOR AND ROOF
ASSEMBLY
SCHEDULE**

REV. NO.:	SHEET NO.:
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A0.30


FLOOR ASSEMBLY GENERAL NOTES:

1. TOP FLOOR VERTICAL FIRE SEPARATIONS ARE REQUIRED TO BE CONTINUOUS TO THE U/S OF ROOF SHEATHING
2. ALL WALLS DEMISING UNITS FROM EACH OTHER, PUBLIC CORRIDORS & SERVICE ROOMS/SHAFTS TO HAVE CAULK BOTH SIDES OF WALLS BETWEEN FLOOR & SLATE PLATE.
3. FIRESTOPPING SYSTEMS:
 - 3.1) ALL SERVICE PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE TIGHTLY FITTED, AND REMAINING GAP TO BE SEALED WITH A ULC RATED FIRESTOP CAULKING THAT MATCHES THE FRR OF THE ASSEMBLY.
 - 3.2) SERVICE PENETRATIONS THROUGH FIRE BLOCKS MUST BE FIRE-STOPPED.
 - 3.3) ALL DUCTING PENETRATION THROUGH FIRE RATED ASSEMBLIES TO HAVE EITHER FIRE-DAMPER OR BE ENCLOSED WITH AN ASSEMBLY WITH EQUIVALENT FRR
 4. ON FIRE SEPARATION ASSEMBLYS WHERE SERVICES REQUIRE AN OPENING GREATER THAN 25 SQ. INCHES (E.G. DIVERSITY AT TRANSIVANT) PROVIDE A 5 SIDED GIBB RATED BOX (MUDDIED AND TAPED) THAT MATCHES THE FRR OF THE ASSEMBLY.
6. PLUMBING LINES AND DRAINS ARE NOT TO BE RUN IN EXTERIOR WALLS.
7. MUD RIMS W/O SEALED BOXES ARE TO BE LOCATED ON INTERIOR WALLS ONLY (E.G. CABLE ROUGH-IN)

REVISION:		
NO.:	DATE:	DESCRIPTION:
ISSUE:		
DATE:	DESCRIPTION:	
05/12/2022	ISSUED FOR BUILDING PERMIT	



SEAL:



DRAWN BY: HJC	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638
SHEET TITLE: WORK SCHEDULE	
REV. NO.:	SHEET NO.: A0.40

DOOR SCHEDULE															
DOOR NUMBER	LOCATION		TO	TYPE	SIZE		DOOR		SAFETY GLASS	FRAME		HARDWARE	FRR		REMARKS
	FROM				WIDTH	HEIGHT	MATERIAL	FINISH		MATERIAL	FINISH		DOOR	FRAME	
LEVEL 1															
01-246	CORR	PATIO	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
01-247	CORRIDOR								TEMP						
102	CARE CENTRE		STORAGE	2	3'-0"	7'-0"	HM	PT	N/A	PSF	PT		3/4 H	3/4 H	
104	CORR.		SOILED UTILITY	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	1.6,7.8,9	-	-	
105	CORR.		CLEAN LINEN	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
106	CORR.	STAFF W.C.		2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
107	CORR.	JANITOR ROOM		2	3'-0"	7'-0"	HM	PT	N/A	PSF	PT	1.5,7.14	-	-	
108	CORR.		EQUIPMENT ROOM	10	6'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		0 HR	0 HR	
109	CORR.		QUIET ROOM	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
110	CORR.		ACTIVITY ROOM	11	6'-0"	7'-0"	ALUM	PRE-FINISH	TEMP	ALUM	PRE-FINISH		-	-	
111	CORR.		TUBSHOWER ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
112	CORR.		LAUNDRY	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
113	CORR.		WATER CLOSET	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
114	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
114-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
115	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
115-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
116	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
116-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
117	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
117-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
118	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
118-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
119	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
119-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
120	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
120-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
121	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
121-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
122	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
122-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
123	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
123-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
124	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
124-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
125	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
125-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
126	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
126-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
127	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
127-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
128	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
128-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
129	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
129-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
130	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
130-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
131	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
131-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
132	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
132-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
133	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
133-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
134	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
134-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
135	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
135-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
136	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
136-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
137	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
137-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
138	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
138-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
139	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
139-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
140	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
140-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
141	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
141-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
142	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
142-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
143	CORR.		BIARIATRIC BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
143-W	BIARIATRIC BEDROOM		WATER CLOSET	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
144	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
144-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
145	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
145-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
146	CORR.		RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT		-	-	
146-W	RESIDENTIAL BEDROOM		WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
147-B	ACTIVITY ROOM		PATIO	11	6'-0"	7'-0"	ALUM	PRE-FINISH	TEMP	ALUM	PRE-FINISH		-	-	
149	GENERAL OFFICE		TEAM CONFERENCE	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.12	-	-	
150-A	FOYER		GENERAL OFFICE	5	3'-0"	7'-0"	SC WD	PT	TEMP	PSF	PT	1.5,9.15	-	-	
150-B	RECEPTION		GENERAL OFFICE	5	3'-0"	7'-0"	SC WD	PT	TEMP	PSF	PT	1.5,9.12	-	-	
151	GENERAL OFFICE		OFFICE	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.9.15	-	-	
152	GENERAL OFFICE		OFFICE	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.9.15	-	-	
153	RECEPTION		BUSINESS OFFICE	5	3'-0"	7'-0"	SC WD	PT	TEMP	PSF	PT				

DOOR SCHEDULE														
DOOR NUMBER		LOCATION		SIZE			DOOR		FRAME		FRR		REMARKS	
	FROM	TO	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	SAFETY GLASS	MATERIAL	FINISH	HARDWARE	DOOR	FRAME	
LEVEL 2														
201	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
201-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
202	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
202-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
203	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
203-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
204	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
204-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
205	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
205-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
206	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
206-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
207	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
207-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
208	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
208-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
209	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
209-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
210	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
210-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
211	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
211-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
212	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
212-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
213	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.7,17.23	0 HR	0 HR	
213-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
214	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
214-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
215	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
215-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
216	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
216-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
217	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
217-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
218	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
218-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
219	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
219-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
220	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
220-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
221	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
221-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
222	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
222-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
223	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
223-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
224	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
224-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
225	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
225-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
226	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
226-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
227	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
227-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
228	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
228-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
229	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
229-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
230	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
230-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
231	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
231-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
232	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
232-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
233	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
233-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
234	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
234-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
235	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
235-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
236	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
236-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
237	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
237-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
238	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
238-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
239	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
239-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
240	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
240-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
241	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
241-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
242	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
242-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
243	CORR.	BIARIATRIC BEDROOM	3	5'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
243-W	BIARIATRIC BEDROOM	WATER CLOSET	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
244	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
244-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
245	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
245-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
246	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7.9,17.23	0 HR	0 HR	
246-W	RESIDENTIAL BEDROOM	WATER CLOSET	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7.14	-	-	
247-A	ACTIVITY ROOM	ACTIVITY ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	-	-	-	
247-B	ACTIVITY ROOM	BALCONY	11	6'-0"	7'-0"	ALUM	PRE-FINISH	TEMP	ALUM	PRE-FINISH	-	-	-	
248	FOYER	ELEC CLOSET	10	6'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.7,16	-	-	
249	FOYER	COMM	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.7,16	-	-	
251-A	CORR.	ACTIVITY ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	-	-	-	
251-B	ACTIVITY ROOM	BALCONY	11	6'-0"	7'-0"	ALUM	PRE-FINISH	TEMP	ALUM	PRE-FINISH	-	-	-	
254	CORR.	SOILED UTILITY	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	1.6,7.8,9	-	-	
255	CORR.	CLEAN LINEN	2	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	7.12	-	-	
256				6'-0"	7'-0"									
257-A	CORR.	TUB/SHOWER ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	1.5,7.12,14,19	-	-	
257-B	CORR.	TUB/SHOWER ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	1.5,7.12,14,19	-	-	
258	CORR.	QUIET ROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	7.12,23	-	-	
259	CORR.	ACTIVITY ROOM	11	6'-0"	7'-2"	ALUM	PRE-FINISH	TEMP	ALUM	PRE-FINISH	-	-	-	
260	CORR.	EQUIPMENT ROOM	10	6'-0"	7'-									

DOOR SCHEDULE															
LOCATION			SIZE			DOOR		FRAME				FRR		REMARKS	
DOOR NUMBER	FROM	TO	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	SAFETY GLASS	MATERIAL	FINISH	HARDWARE	DOOR	FRAME		
LEVEL 3															
301	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
301-M	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	-	-	-		
302	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
302-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
303	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
303-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
304	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
304-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
305	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
305-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
306	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
306-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
307	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
307-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
308	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
308-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
309	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
309-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
310	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
310-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
311	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
311-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
312	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
312-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
313	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	-	-		
313-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
314	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
314-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
315	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
315-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
316	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
316-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
317	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
317-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
318	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
318-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
319	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
319-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
320	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
320-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
321	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
321-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
322	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
322-B	CORR.	RESIDENTIAL BEDROOM	3	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	-	0 HR	0 HR		
322-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
323	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
323-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
324	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
324-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
325	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
325-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
326	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
326-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
327	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
327-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
328	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
328-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
329	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
329-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
330	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
330-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
331	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
331-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
332	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
332-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
333	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
333-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
334	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
334-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
335	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
335-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
336	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
336-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
337	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
337-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
338	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
338-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
339	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
339-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
340	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
340-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
341	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
341-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
342	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
342-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
343	CORR.	RESIDENTIAL BEDROOM	3	5'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
343-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
344	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
344-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
345	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
345-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
346	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
346-M	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
347	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	3.5,7,9,17,23	0 HR	0 HR		
347-A	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
347-B	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
348	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
348-A	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
348-B	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
349	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
349-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
350	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
350-W	CORR.	RESIDENTIAL BEDROOM	14	3'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
351	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
351-A	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
351-B	CORR.	RESIDENTIAL BEDROOM	3	4'-0"	7'-0"	SC WD	PT	N/A	PSF	PT	5.6,7,14	-	-		
352	COR														

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REVISION:

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ISSUE:

DATE:	DESCRIPTION:
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CICCOZZI
ARCHITECTURE

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PICS DIVERSITY VILLAGE
LIVE WHERE THE WORLD LIVES

PROJECT

GURU NANAK DIVERSITY VILLAGE

6471 175A STREET
SURREY, BC

DRAWN BY: SK/RP	CHECKED BY: RC
SCALE:	PROJECT NO.: CA638

SHEET TITLE:

DOOR SCHEDULE

REV. NO.: SHEET NO.:

A0.60

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ARCHITECTURE

15th FLOOR
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VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

DRAWN BY:

SK/ RP

CHECKED BY:

RC

SCALE:

1/16" = 1'-0"

PROJECT NO.:

CA638

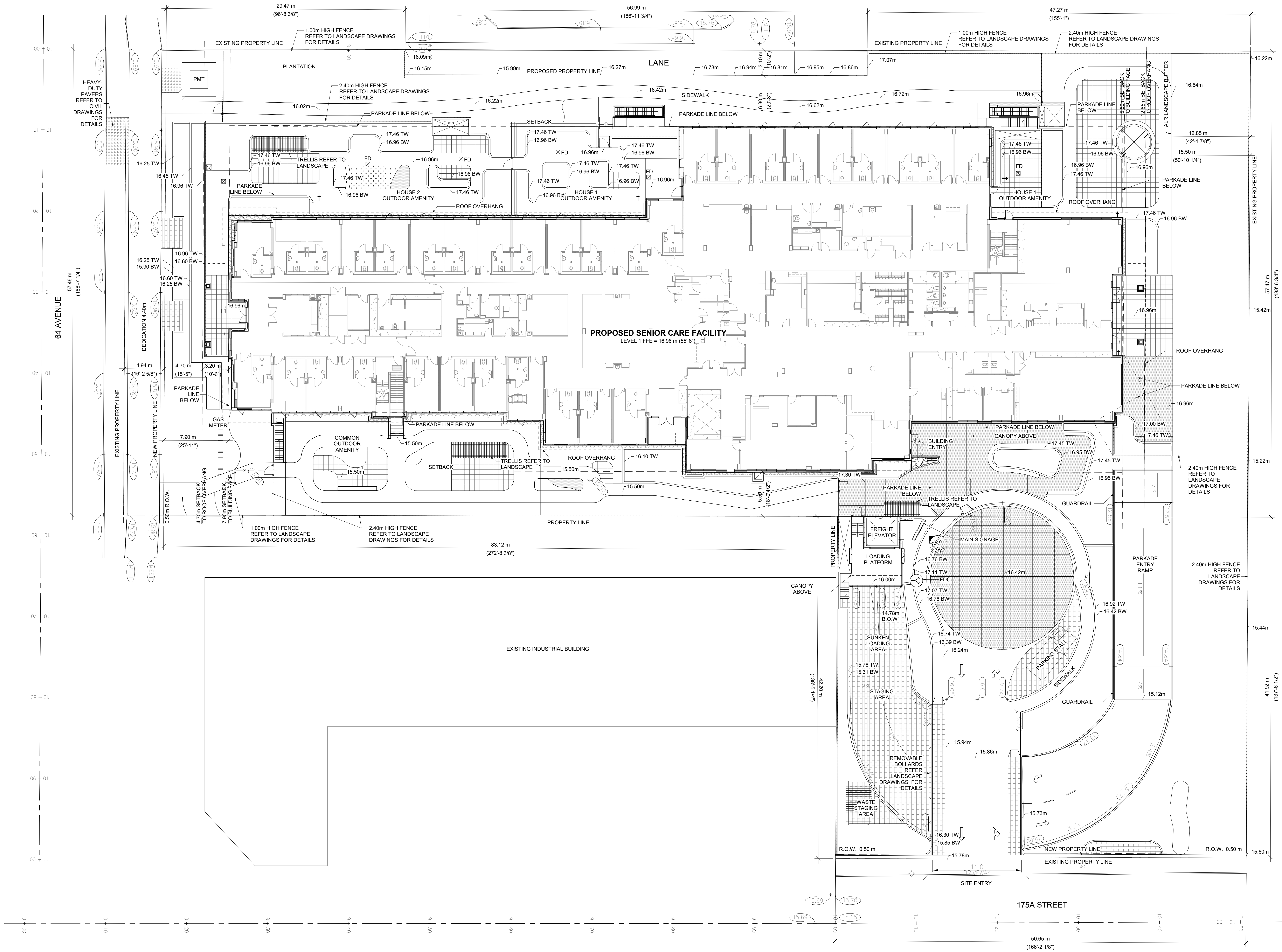
SHEET TITLE:

SITE PLAN

REV. NO.:

SHEET NO.:

A1.00



1 A1.0 SITE PLAN
1/16" = 1'-0"

INDUSTRIAL AREA

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DATE DESCRIPTION

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PICS DIVERSITY VILLAGE
LIVE WHERE THE WORLD LIVES

PROJECT:

**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

DRAWN BY:

SK

CHECKED BY:

RC

SCALE:

1/8" = 1'-0"

PROJECT NO.:

CA638

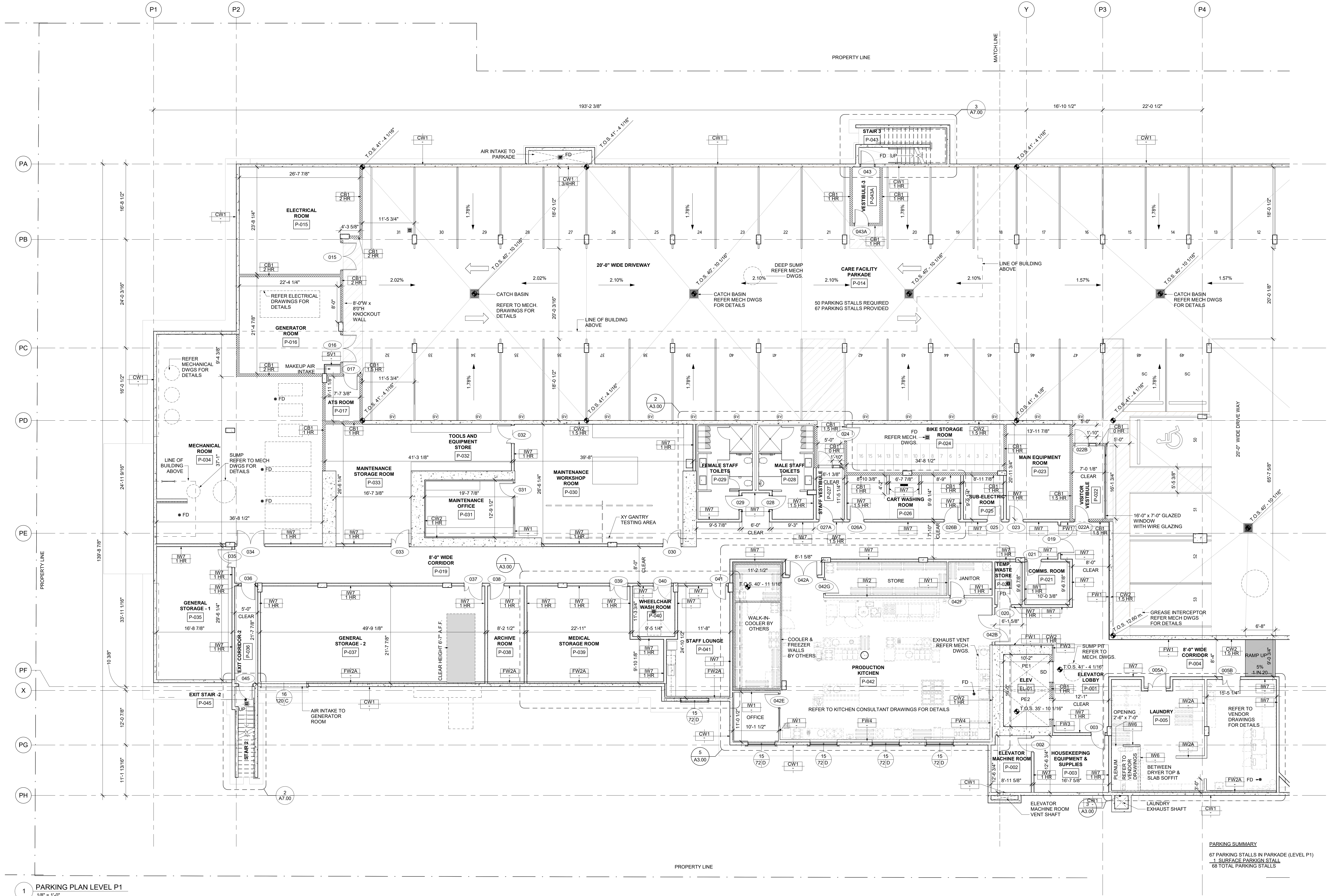
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**PARKING PLAN
LEVEL P1 - SOUTH**

REV. NO.:

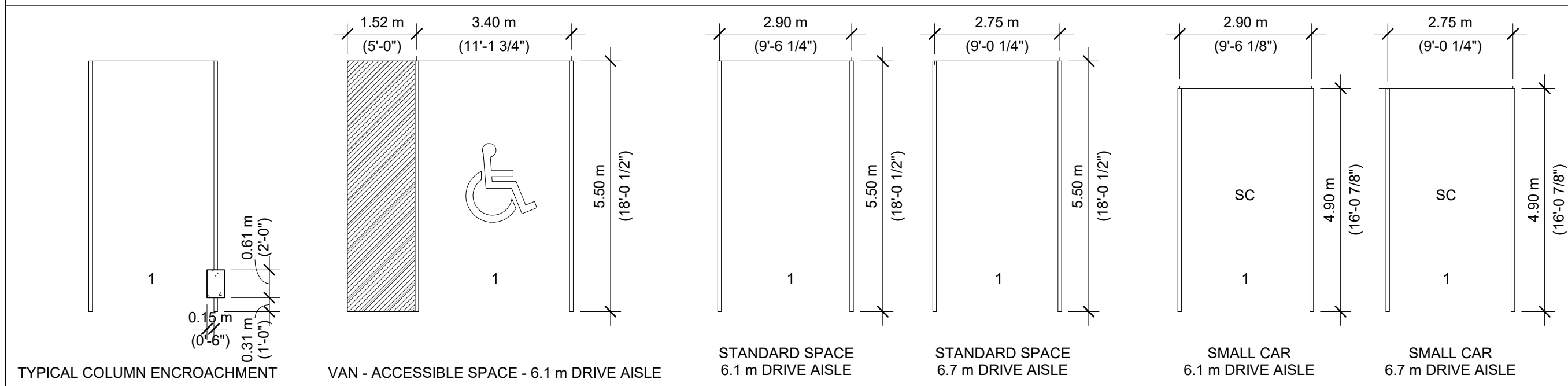
SHEET NO.:

A1.20



1 PARKING PLAN LEVEL P1
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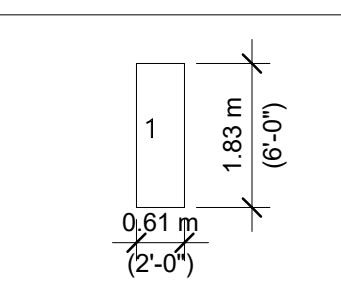
TYPICAL PARKING STALLS



KEY

VEHICLE PARKING:
VIS. - VISITOR STALL
S.C. - SMALL CAR
E.V. - ELECTRICAL
VEHICLE CHARGING

BICYCLE STALL/LOCKERS



GENERAL NOTES:

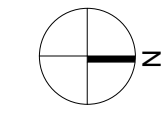
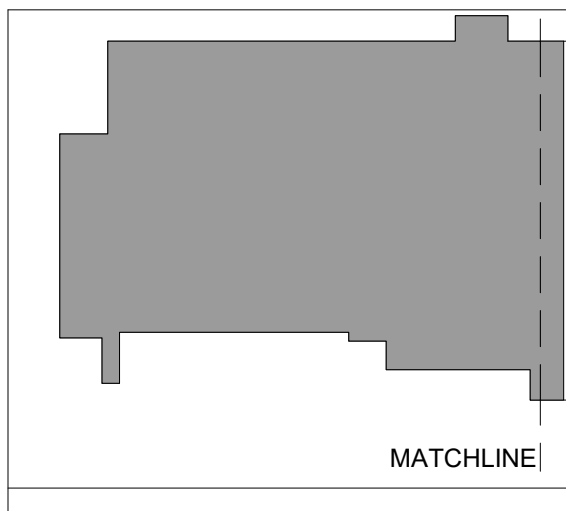
1. ALL GRADES ARE GEODETIC, BASED ON CIVIL DRAWINGS.
2. PARKING DESIGNED AS PER PARKING BY-LAW AND PARKING & LOADING DESIGN GUIDELINE FROM CITY OF COQUITLAM.
3. SEE ELECTRICAL FOR LOCATIONS OF RESIDENTIAL STALLS PROVIDED WITH VEHICLE CHARGING STATIONS.
4. MAINTAIN MIN. 2.1m (6'-10 1/2") CLEAR HEADROOM BELOW ALL SERVICES.
5. ALL STALLS & PEDESTRIAN PATHS PAINTED ON SLAB. 2" WIDE LINES - WHITE.
6. CONCRETE RAILS, COLUMNS, MASONRY WALLS & CEILING PIPES TO BE PAINTED - WHITE. REFER TO I.D. DRAWINGS FOR MATERIALS, DETAILS & COLOUR SCHEME OF ELEVATOR VESTIBULE.
7. ALL HANDRAILS AND GUARDS TO BE PREFINISHED ALUMINUM - BLACK.
8. PRESSED STEEL FRAMES & DOORS TO BE PAINTED, COLOURS BY I.D.
9. PROVIDE BOLLARDS & PIPE GUARDS AS REQUIRED TO PROTECT SERVICES - PAINT YELLOW.

10. PROVIDE HIGH LEVEL LIGHTING IN ALL LEVELS OF PARKADE AND STORAGE ROOMS.
11. ALL ELEVATOR LOBBIES AND EXIT STAIRS TO HAVE WIRED GLAZING IN DOORS AND WALLS.
12. HEAVY DUTY STEEL WIRE MESH CHAIN LINK FENCE SHALL BE REINFORCED BY H.S.S. POSTS. FENCE SHALL BE SLAB TO SLAB IN HEIGHT, SECURITY GATES C/W LOCKS.
13. ALL SERVICES LOCATED WITHIN EXIT STAIRS AND EXIT CORRIDORS THAT ARE NOT SERVING THE EXIT ARE TO BE ENCLOSED IN A 1 HOUR RATED ASSEMBLY.
14. FIRE EXTINGUISHERS TO BE MOUNTED THROUGHOUT THE PARKADE THAT THE MAXIMUM TRAVEL DISTANCE DOES NOT EXCEED 75'-0"
15. METAL DOORS TO HAVE VISION PANELS WHERE REQUIRED FOR CPED.
16. PROVIDE FOB ACCESS TO BICYCLE STORAGE AND BULK STORAGE
17. ALL CLASS A BICYCLE STORAGE ROOMS TO HAVE AUTOMATIC DOOR OPENERS.

PARKING SUMMARY

67 PARKING STALLS IN PARKADE (LEVEL P1)
1 SURFACE PARKING STALL
68 TOTAL PARKING STALLS

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

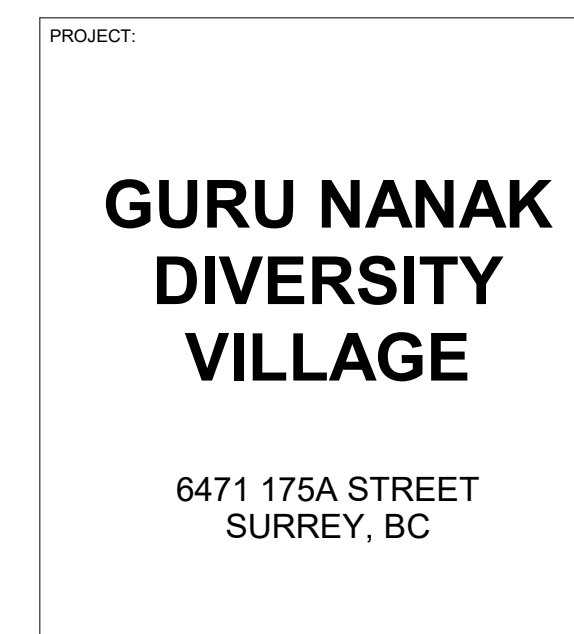


KEY PLAN

[illegible]

SEAL:

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL : 604 687-4741



**FLOOR PLAN LEVEL
- NORTH**

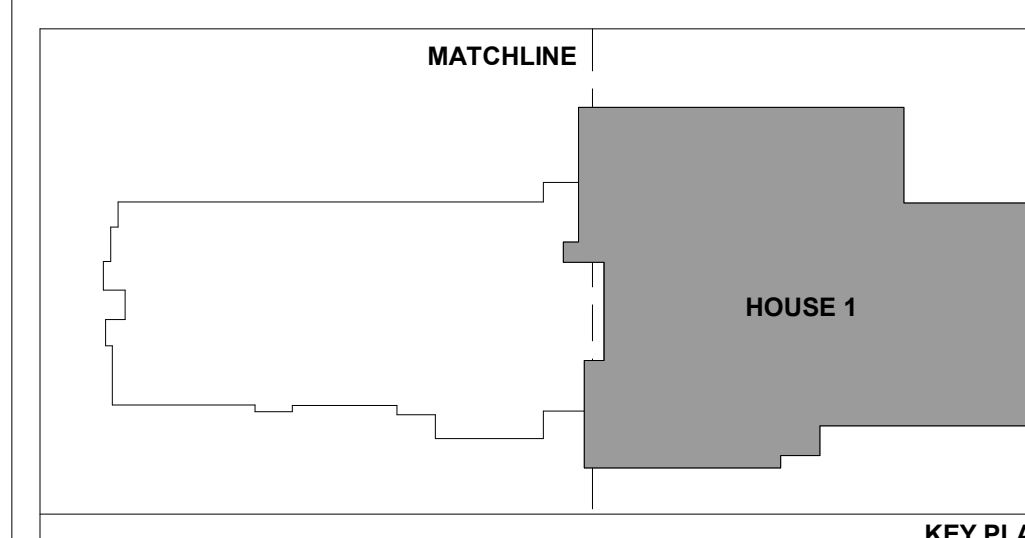
REV. NO.:
SHEET NO.:
A2.00



1. SEE DOOR SCHEDULE FOR DOOR, FRAME, TRANSOM, SIDELITE, AND CONSOLE PANEL ELEVATIONS.
2. CONFIRM/COORDINATE DOOR OPENING DIMENSIONS ON SITE PRIOR TO MANUFACTURING DOORS AND FRAMES.
3. ALL DOORS REQUIRED TO HAVE A RATING (INCLUDING THE RATING "0") ARE REQUIRED TO HAVE ULC LISTED CLOSER, LATCHING, AND DOOR RELEASE HARDWARE.
4. INTERIOR RESIDENTIAL SUITE DOORS TO HAVE A CLEARANCE OF NOT MORE THAN 1/4" (6mm) AT THE BOTTOM AND NOT MORE THAN 1/8" (3mm) AT THE SIDES AND TOP.
5. EXTERIOR HOLLOW METAL DOORS ARE TO BE INSULATED.
6. ALL GLAZING IN DOORS AND SIDELIGHTS SHALL BE TEMPERED SAFETY GLASS UNLESS NOTED OTHERWISE.
7. COORDINATE DOOR CONTACT REQUIREMENTS WITH ELECTRICAL.
8. FIRE RATING AND MAX. SIZE OF GLAZING IN DOORS SHALL MEET THE FIRE RATING REQUIREMENTS OF THE DOORS IN WHICH THEY ARE INSTALLED.
9. WINDOW SIZES TO BE COORDINATED WITH EXTERIOR CLADDING SIZES. REFER TO ELEVATIONS.

10. REFER TO LIFE SAFETY DRAWINGS FOR WINDOWS REQUIRING TEMPERED GLAZING AND WATER CURTAIN SPRINKLER COVERAGE.
11. ALL FIRE-RATED DOORS MUST HAVE SELF-CLOSING DEVICE AND POSITIVE LATCHING MECHANISM.
12. ALL FIRE DOORS SHALL BE PROPERLY LABELED IN CAPITAL LETTERS (a minimum 6mm in height) "FIRE DOOR - KEEP CLOSED"
13. REFER ALSO TO ELECTRICAL DRAWINGS FOR CONTROL CARD ACCESS WITH KEY
14. P.S.F. INSTALLED IN CMU WALLS & CONCRETE WALLS TO BE SEALED W/ SEALANT FOR SMOKE STOP (FRAMES CAST IN CONCRETE NOT REQUIRED TO BE SEALED)
15. ELECTRIC STRIKES IN A FIRE SEPARATION MUST BE FAIL SECURE
16. PERFORMANCE REQUIREMENTS FOR EXTERIOR DOORS AND WINDOWS:
 - VINYL SWING / SLIDING DOORS -
 - AIR INFILTRATION: 0.1 CFM/SQFT
 - WATER PENETRATION RESISTANCE: 330 PA
 - THERMAL PERFORMANCE: DOUBLE GLAZED

0 4'-0" 8'-0" 16'-
SCALE: 1/8" = 1'-0"



KEY PL

[illegible]

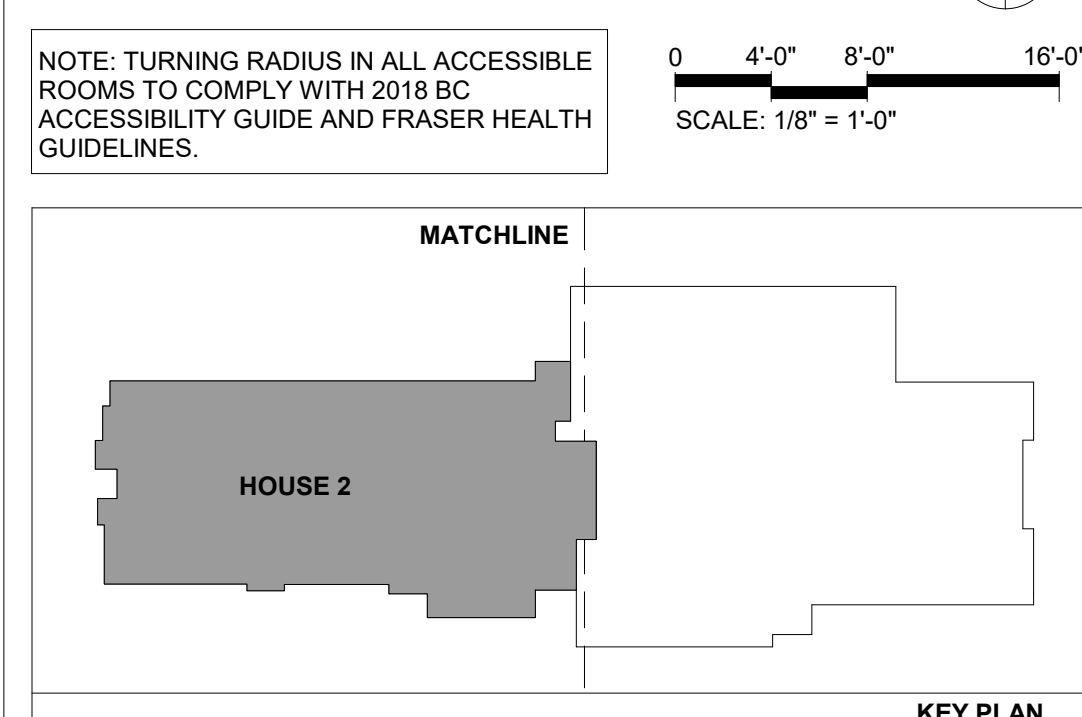
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NO.:	DATE:	DESCRIPTION:
ISSUE:		
DATE:	DESCRIPTION:	
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SCALE: 1/8" = 1'-0"	PROJECT NO.: CA638

REV. NO.: SHEET NO.:

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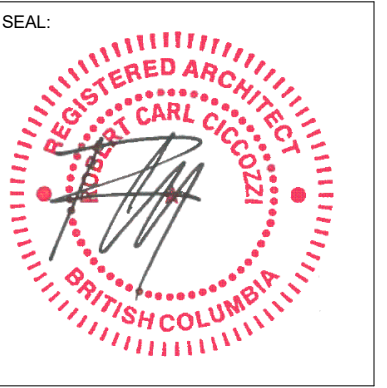


GENERAL NOTES:	
1. SEE DOOR SCHEDULE FOR DOOR, FRAME, TRANSOM, SIDELITE, AND CONSOLE PANEL ELEVATIONS.	10. REFER TO LIFE SAFETY DRAWINGS FOR WINDOWS REQUIRING TEMPERED GLAZING AND WATER CURTAIN SPRINKLER COVERAGE.
2. CONFIRM/COORDINATE DOOR OPENING DIMENSIONS ON SITE PRIOR TO MANUFACTURING DOORS AND FRAMES.	11. ALL FIRE-RATED DOORS MUST HAVE SELF-CLOSING DEVICE AND POSITIVE LATCHING MECHANISM
3. ALL DOORS REQUIRED TO HAVE A RATING (INCLUDING THE RATING "0") ARE REQUIRED TO HAVE ULC LISTED CLOSER, LATCHING, AND DOOR RELEASE HARDWARE.	12. ALL FIRE DOORS SHALL BE PROPERLY LABELED IN CAPITAL LETTERS (a min. of 6mm in ht.) "FIRE DOOR - KEEP CLOSED"
4. INTERIOR RESIDENTIAL SUITE DOORS TO HAVE A CLEARANCE OF NOT MORE THAN 1/4" (6mm) AT THE BOTTOM AND NOT MORE THAN 1/8" (3mm) AT THE SIDES AND TOP.	13. REFER ALSO TO ELECTRICAL DRAWINGS FOR CONTROL CARD ACCESS WIRING
5. EXTERIOR HOLLOW METAL DOORS ARE TO BE INSULATED.	14. P.S.F. INSTALLED IN CMU WALLS & CONCRETE WALLS TO BE SEALED W/ SEALANT FOR SMOKE STOP (FRAMES CAST IN CONCRETE NOT REQUIRED TO BE SEALED)
6. ALL GLAZING IN DOORS AND SIDELIGHTS SHALL BE TEMPERED SAFETY GLASS UNLESS NOTED OTHERWISE.	15. ELECTRIC STRIKES IN A FIRE SEPARATION MUST BE FAIL SECURE
7. COORDINATE DOOR CONTACT REQUIREMENTS WITH ELECTRICAL.	16. PERFORMANCE REQUIREMENTS FOR EXTERIOR DOORS AND WINDOWS:
8. FIRE RATING AND MAX. SIZE OF GLAZING IN DOORS SHALL MEET THE FIRE RATING REQUIREMENTS OF THE DOORS IN WHICH THEY ARE INSTALLED.	VINYL SWING / SLIDING DOORS - AIR INFILTRATION: 0.1 CFMSQFT WATER PENETRATION RESISTANCE: 330 PA THERMAL PERFORMANCE: DOUBLE GLAZED
9. WINDOW SIZES TO BE COORDINATED WITH EXTERIOR CLADDING SIZES. REFER TO ELEVATIONS.	

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CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

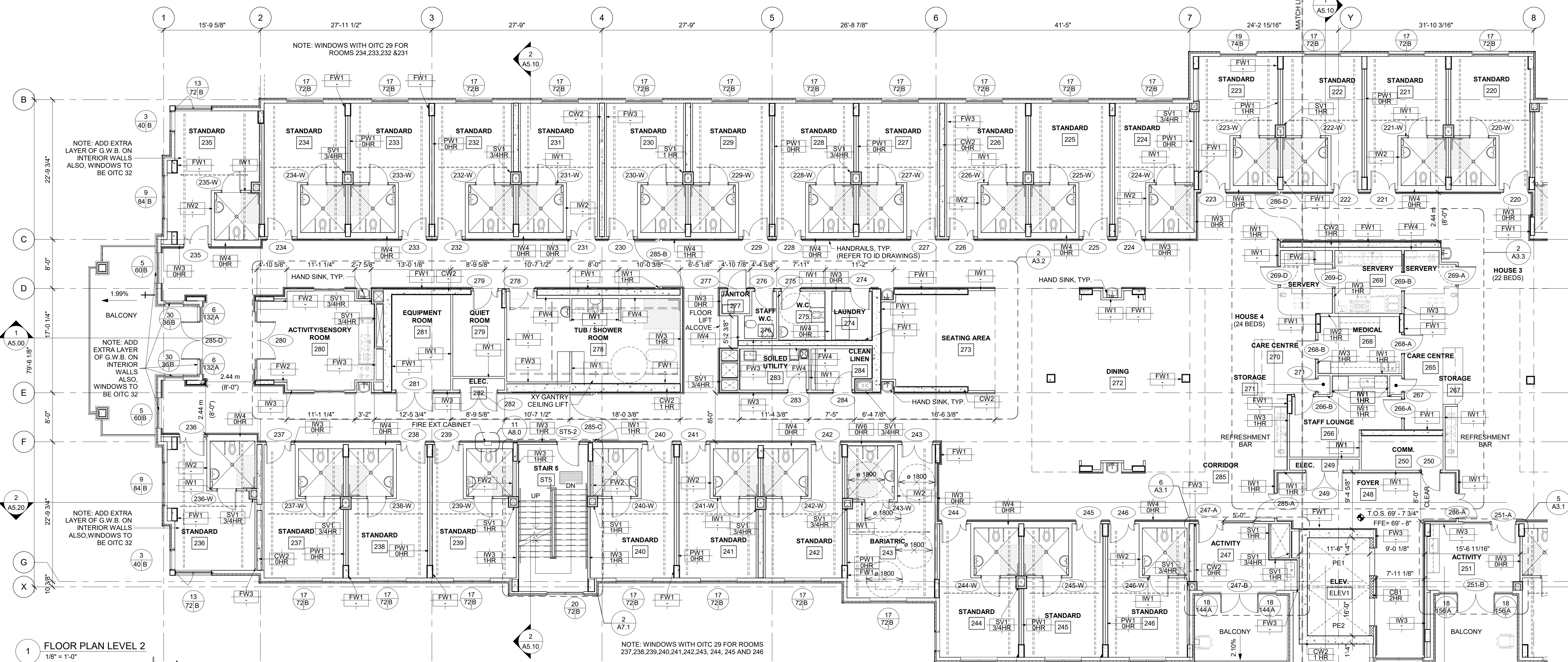
**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

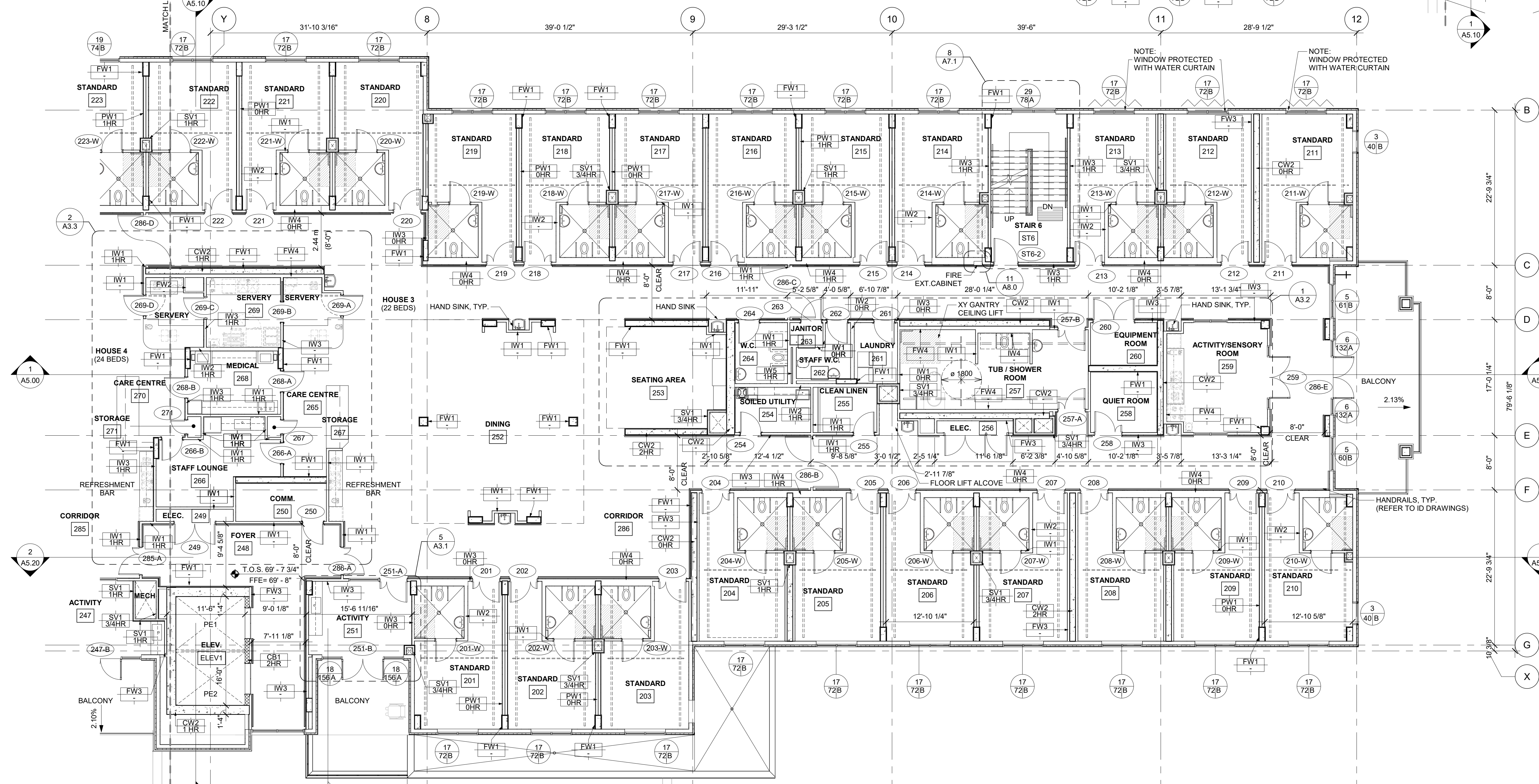
DRAWN BY: SK
SCALE: 1/8" = 1'-0"
SHEET TITLE:

**FLOOR PLAN LEVEL 2
- NORTH & SOUTH**

REV. NO.:
SHEET NO.:
A2.02



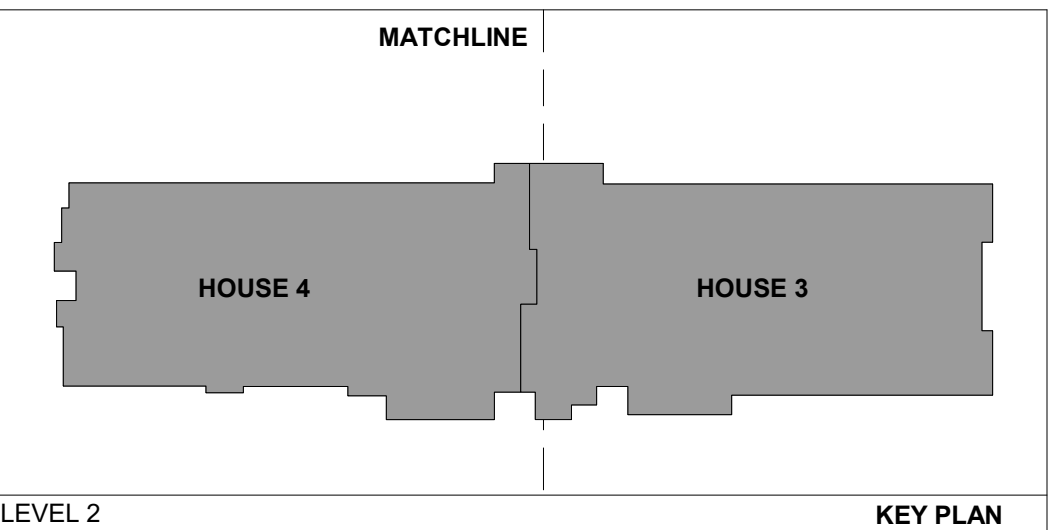
1 FLOOR PLAN LEVEL 2
1/8" = 1'-0"



2 FLOOR PLAN LEVEL 2
1/8" = 1'-0"

NOTE: TURNING RADIUS IN ALL ACCESSIBLE ROOMS TO COMPLY WITH 2018 BC ACCESSIBILITY GUIDE AND FRASER HEALTH GUIDELINES.

- GENERAL NOTES:
- SEE ALSO DOOR SCHEDULE FOR DOOR, FRAME, TRANSOM, SIDELITE, AND CONSOLE PANEL ELEVATIONS.
 - CONFIRM/COORDINATE DOOR OPENING DIMENSIONS ON SITE PRIOR TO MANUFACTURING DOORS AND FRAMES.
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 - ALL GLAZING IN DOORS AND SIDELIGHTS SHALL BE TEMPERED SAFETY GLASS UNLESS NOTED OTHERWISE.
 - COORDINATE DOOR CONTACT REQUIREMENTS WITH ELECTRICAL.
 - FIRE RATING AND MAX. SIZE OF GLAZING IN DOORS SHALL MEET THE FIRE RATING REQUIREMENTS OF THE DOORS IN WHICH THEY ARE INSTALLED.
 - WINDOW SIZES TO BE COORDINATED WITH EXTERIOR CLADDING SIZES. REFER TO ELEVATIONS.
 - REFER TO LIFE SAFETY DRAWINGS FOR WINDOWS REQUIRING TEMPERED GLAZING AND WATER CURTAIN SPRINKLER COVERAGE.
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 - REFER ALSO TO ELECTRICAL DRAWINGS FOR CONTROL CARD ACCESS WIRING.
 - P.S.F. INSTALLED IN CMU WALLS & CONCRETE WALLS TO BE SEALED W/ SEALANT FOR SMOKE STOP (FRAMES CAST IN CONCRETE NOT REQUIRED TO BE SEALED).
 - ELECTRIC STRIKES IN A FIRE SEPARATION MUST BE FAIL SECURE.
 - PERFORMANCE REQUIREMENTS FOR EXTERIOR DOORS AND WINDOWS:
VINYL SWING / SLIDING DOORS -
AIR INFILTRATION: 0.1 CFM/SQFT
WATER PENETRATION RESISTANCE: 330 PA
THERMAL PERFORMANCE: DOUBLE GLAZED

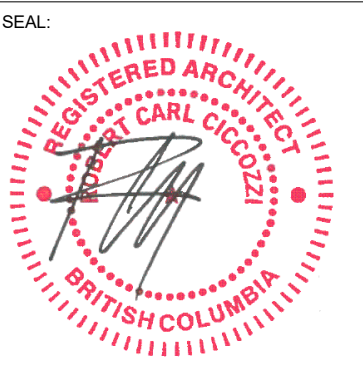


0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

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VANCOUVER, B.C.
CANADA V6E 2M6
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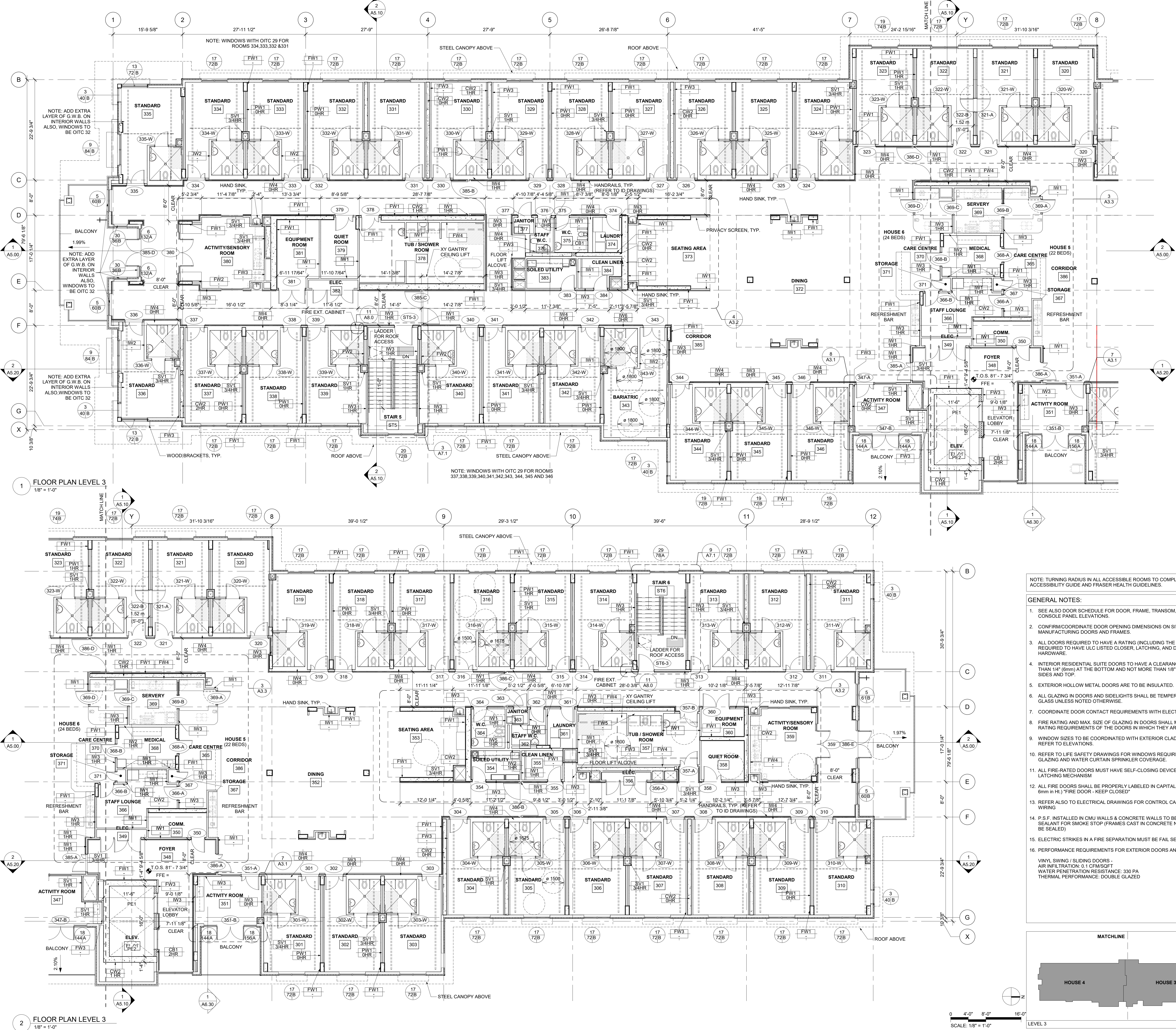
PROJECT:

GURU NANAK DIVERSITY VILLAGE

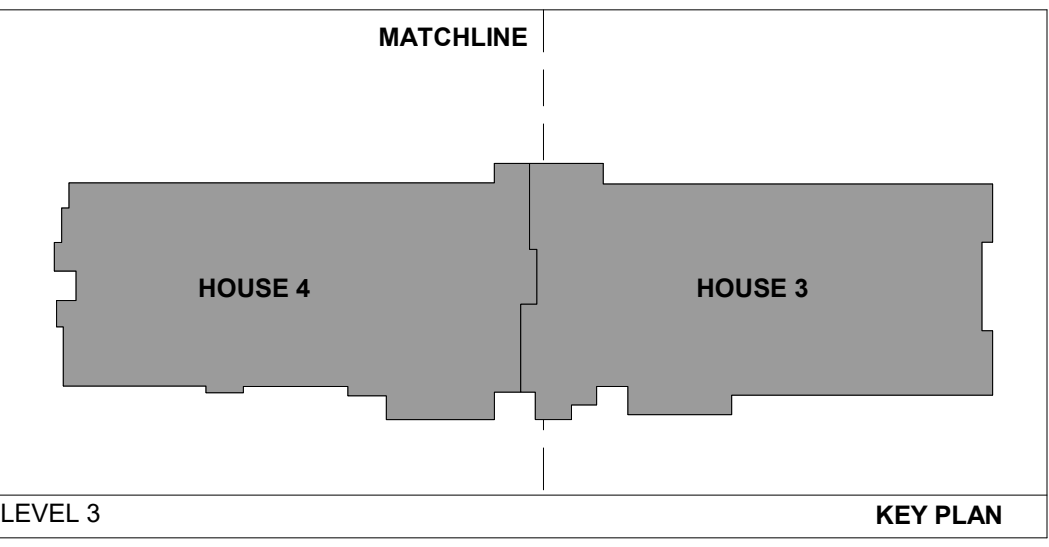
6471 175A STREET
SURREY, BC

DRAWN BY: SK
SCALE: 1/8" = 1'-0"
SHEET TITLE: FLOOR PLAN LEVEL 3 - NORTH & SOUTH

REV. NO.:
SHEET NO.: **A2.03**



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- GENERAL NOTES:
- SEE ALSO DOOR SCHEDULE FOR DOOR, FRAME, TRANSOM, SIDELITE, AND CONSOLE PANEL ELEVATIONS.
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 - EXTERIOR HOLLOW METAL DOORS ARE TO BE INSULATED.
 - ALL GLAZING IN DOORS AND SIDELIGHTS SHALL BE TEMPERED SAFETY GLASS UNLESS NOTED OTHERWISE.
 - COORDINATE DOOR CONTACT REQUIREMENTS WITH ELECTRICAL.
 - FIRE RATING AND MAX. SIZE OF GLAZING IN DOORS SHALL MEET THE FIRE RATING REQUIREMENTS OF THE DOORS IN WHICH THEY ARE INSTALLED.
 - WINDOW SIZES TO BE COORDINATED WITH EXTERIOR CLADDING SIZES. REFER TO ELEVATIONS.
 - REFER TO LIFE SAFETY DRAWINGS FOR WINDOWS REQUIRING TEMPERED GLAZING AND WATER CURTAIN SPRINKLER COVERAGE.
 - ALL FIRE-RATED DOORS MUST HAVE SELF-CLOSING DEVICE AND POSITIVE LATCHING MECHANISM.
 - ALL FIRE DOORS SHALL BE PROPERLY LABELED IN CAPITAL LETTERS (a min. of 6mm in Ht.) "FIRE DOOR - KEEP CLOSED"
 - REFER ALSO TO ELECTRICAL DRAWINGS FOR CONTROL CARD ACCESS WIRING.
 - P.S.F. INSTALLED IN CMU WALLS & CONCRETE WALLS TO BE SEALED W/ SEALANT FOR SMOKE STOP (FRAMES CAST IN CONCRETE NOT REQUIRED TO BE SEALED)
 - ELECTRIC STRIKES IN A FIRE SEPARATION MUST BE FAIL SECURE
 - PERFORMANCE REQUIREMENTS FOR EXTERIOR DOORS AND WINDOWS:
VINYL SWING / SLIDING DOORS -
AIR INFILTRATION: 0.1 CFM/SOFT
WATER PENETRATION RESISTANCE: 330 PA
THERMAL PERFORMANCE: DOUBLE GLAZED



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REVISION:

NO. DATE DESCRIPTION

ISSUE:

DATE DESCRIPTION

05/12/2022 ISSUED FOR BUILDING PERMIT



CICCOTZI
ARCHITECTURE

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

GURU NANAK
DIVERSITY
VILLAGE

6471 175A STREET
SURREY, BC

DRAWN BY:

JHSK

CHECKED BY:

RC

SCALE:

1/8" = 1'-0"

PROJECT NO.:

CA638

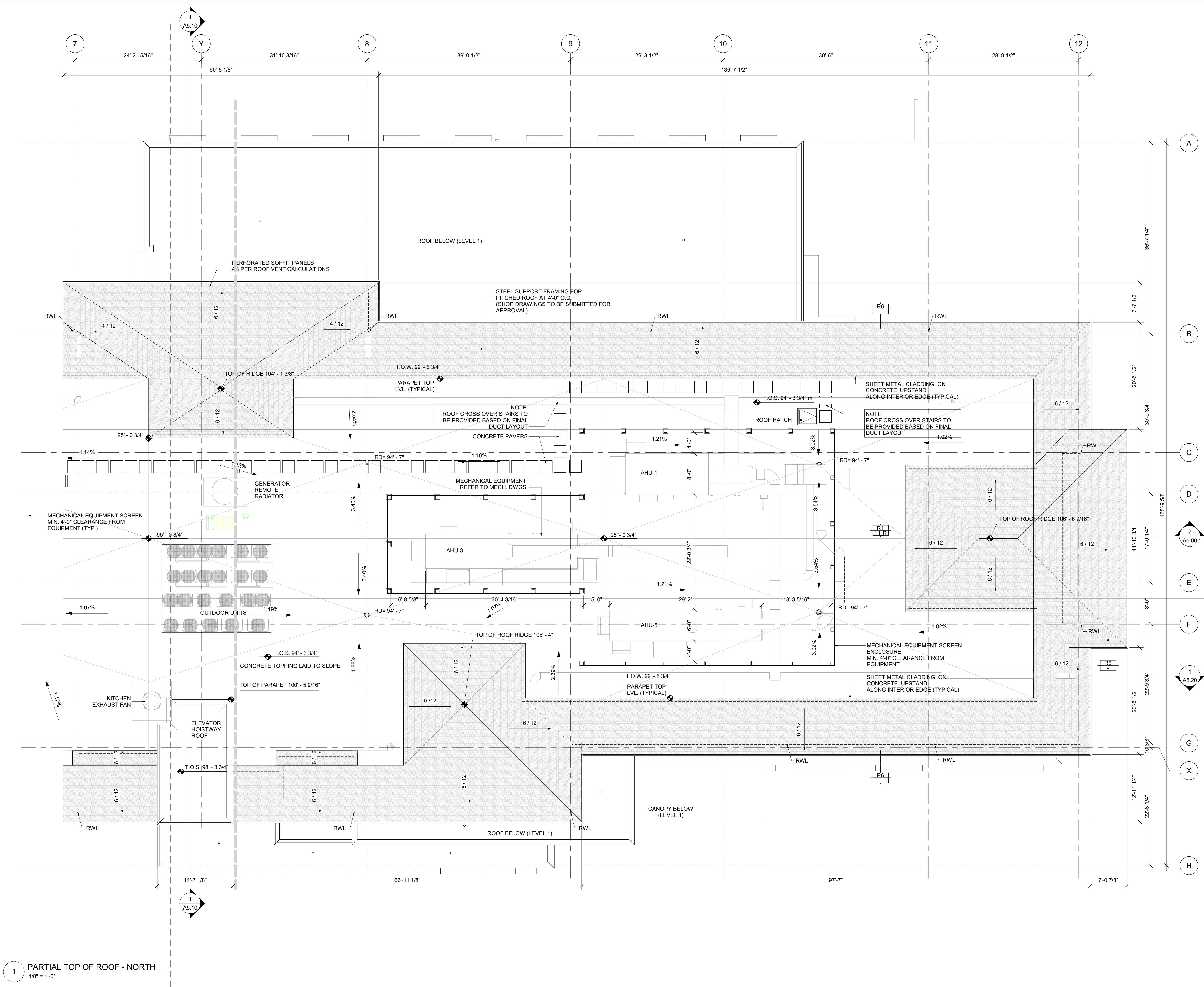
SHEET TITLE:

ROOF PLAN - NORTH

REV. NO.:

SHEET NO.:

A2.04

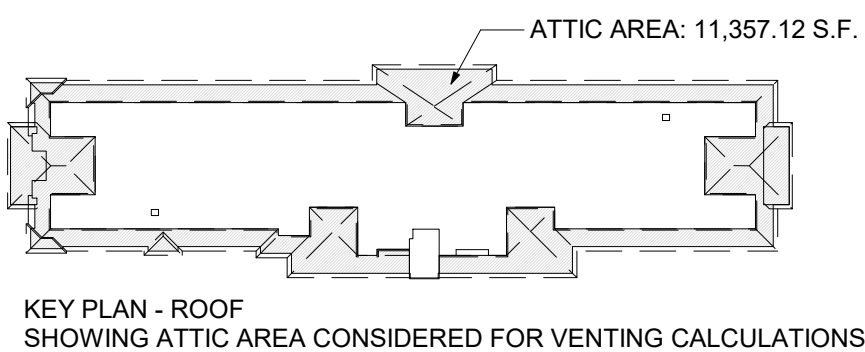


1 PARTIAL TOP OF ROOF - NORTH
1/8" = 1'-0"

ROOF VENTING
INSTALL ROOF AND EAVE TO PROVIDE ROOF VENTING TO INACCESSIBLE ATTIC SPACE.
VENTING TO BE PROVIDED TO THE REQUIREMENTS OF B.C.B.C. AND AS PER BUILDING
ENVELOPE CONSULTANT RECOMMENDATIONS.

ENSURE THAT A MIN. OF 25% OF THE VENTING IS PROVIDED AT THE TOP OF THE ROOF (AS
PER ENVELOPE CONSULTANT'S RECOMMENDATION).
REQUIRED VENT AREA TO BE UNIFORMLY DISTRIBUTED ALONG ROOF PERIMETER.

RIDGE VENT TO BE IN THE FORM OF A GAP AT THE RIDGE, WHILE PERFORATED SOFFIT
PANELS TO BE PROVIDED FOR EAVES TO MEET THE REQUIRED VENTING AREA.



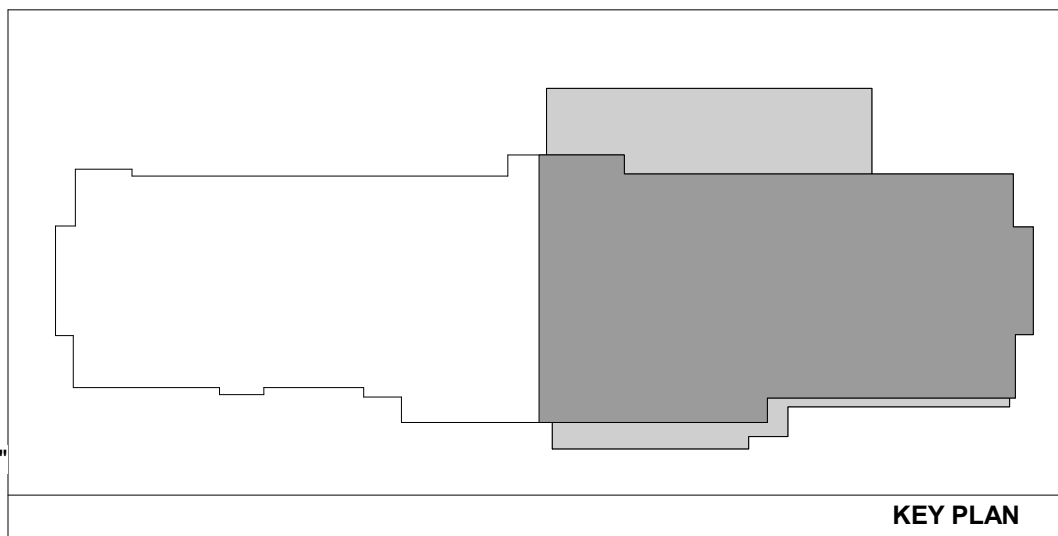
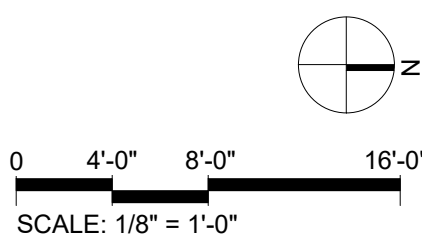
ROOF VENTING CALCULATIONS

FOOT PRINT OF INACCESSIBLE ATTIC AREA (UNDER PITCHED ROOF):
FOR ROOFS WITH SLOPES ≤ 1 IN 6, MINIMUM VENTED AREA TO BE:

REQUIRED MINIMUM VENTED AREA:

11,357.12 S.F.
1/300

38 S.F.



<u>REVISION:</u>		
<u>NO.:</u>	<u>DATE:</u>	<u>DESCRIPTION:</u>

<u>ISSUE:</u>	
<u>DATE:</u>	<u>DESCRIPTION:</u>
05/12/2022	ISSUED FOR BUILDING PERMIT

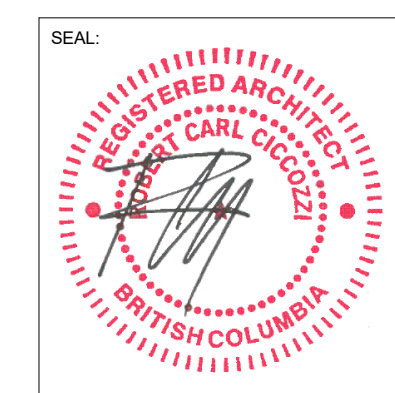
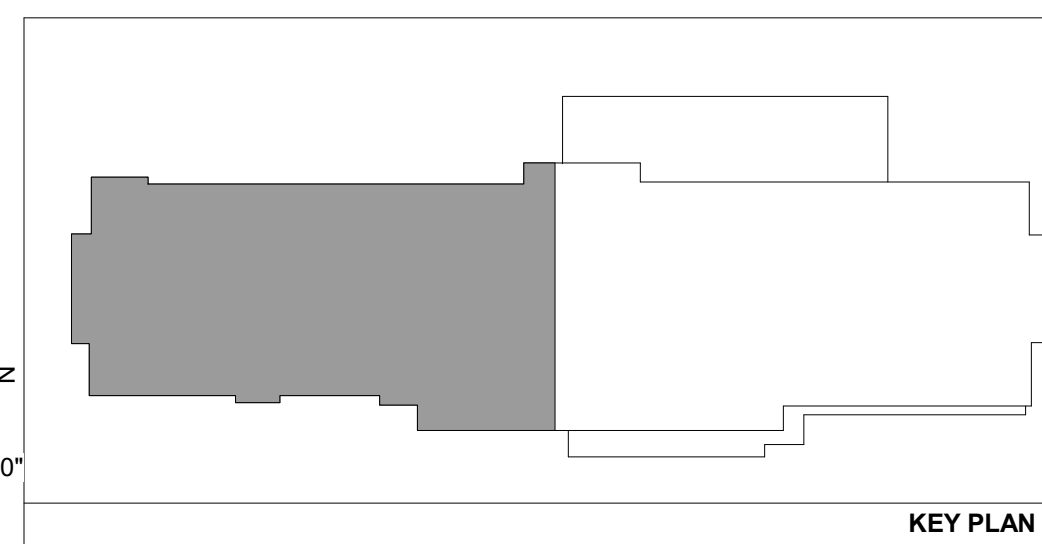


ATTIC AREA: 11,357.12 S.F.

KEY PLAN - ROOF
SHOWING ATTIC AREA CONSIDERED FOR VENTING CALCULATIONS

11,357.12 S.F.
1/300

38 S.F.



15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

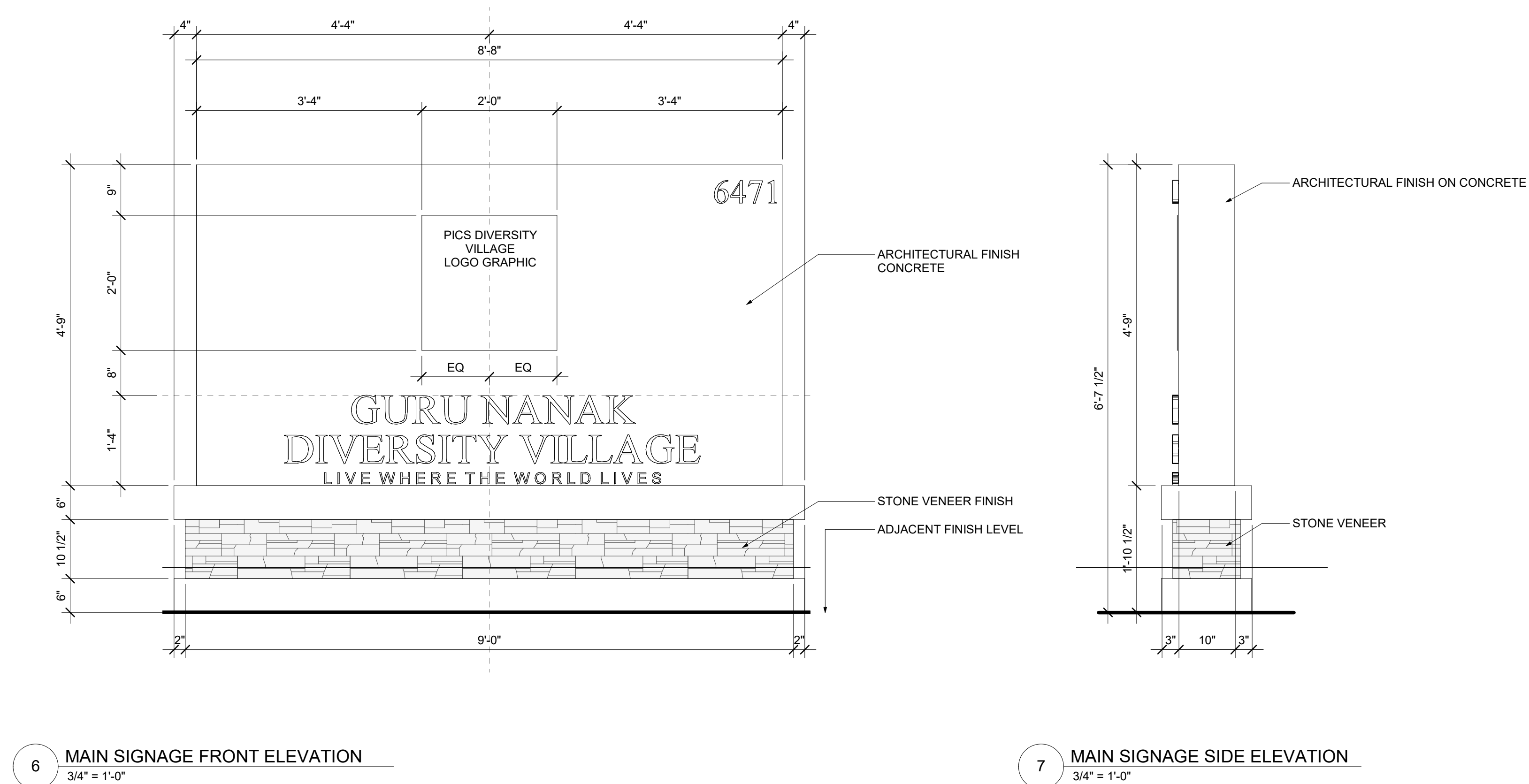
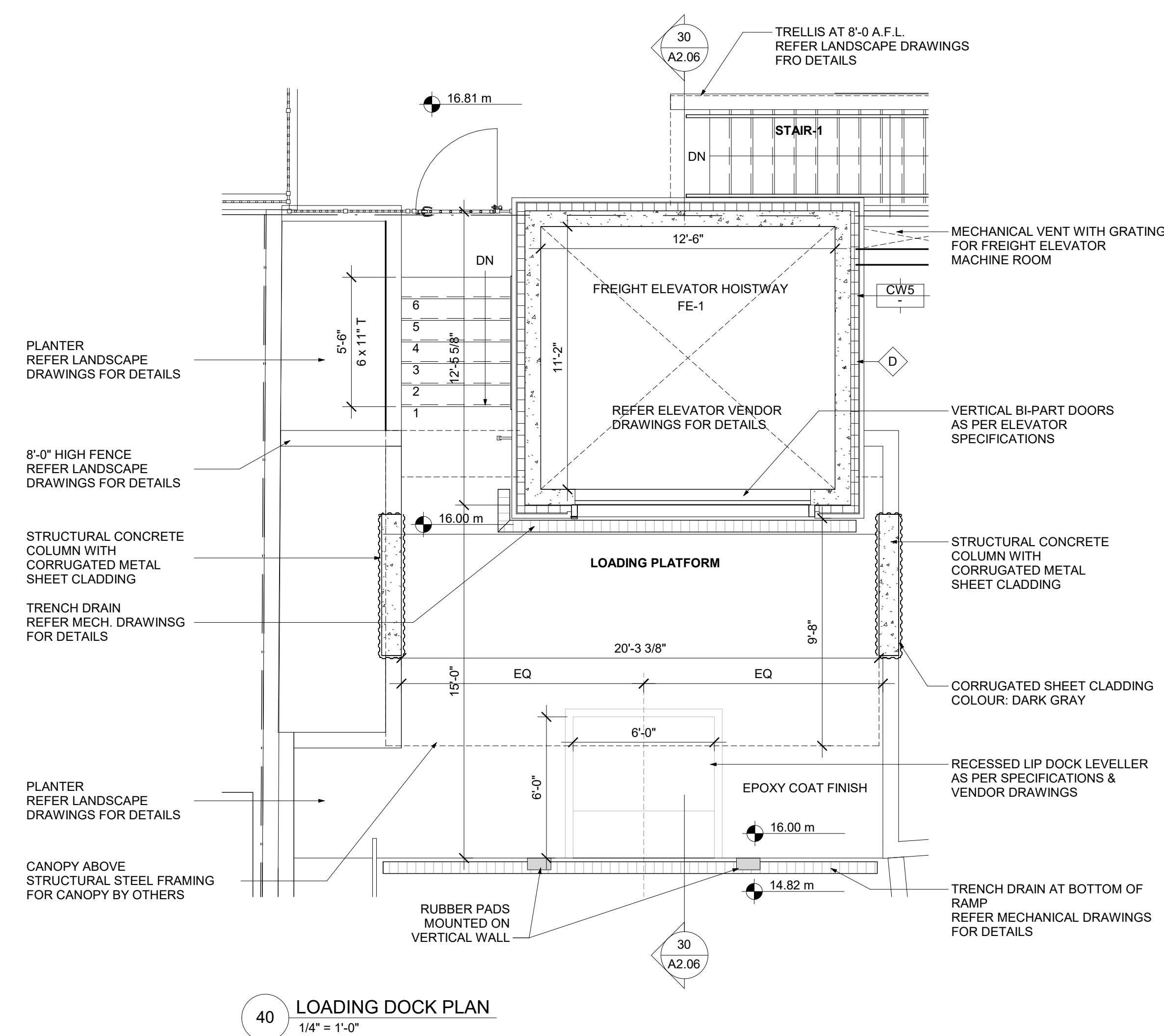
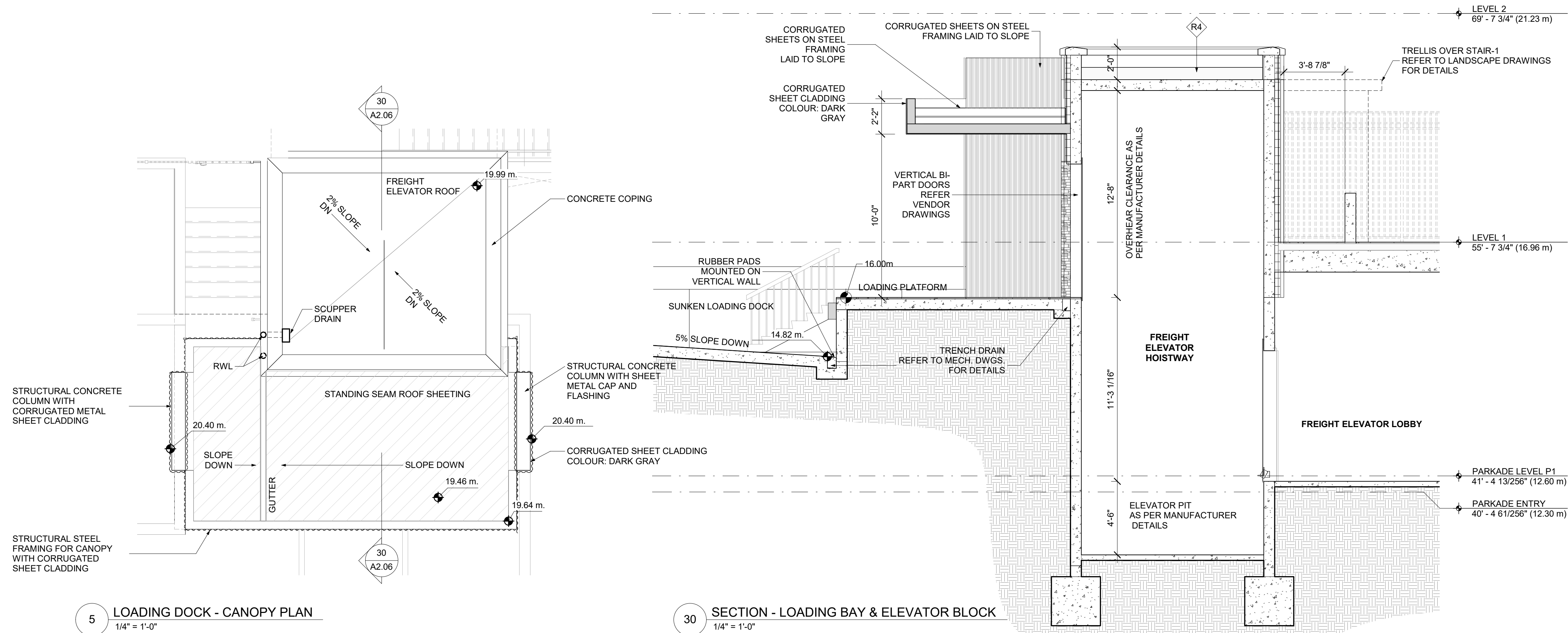
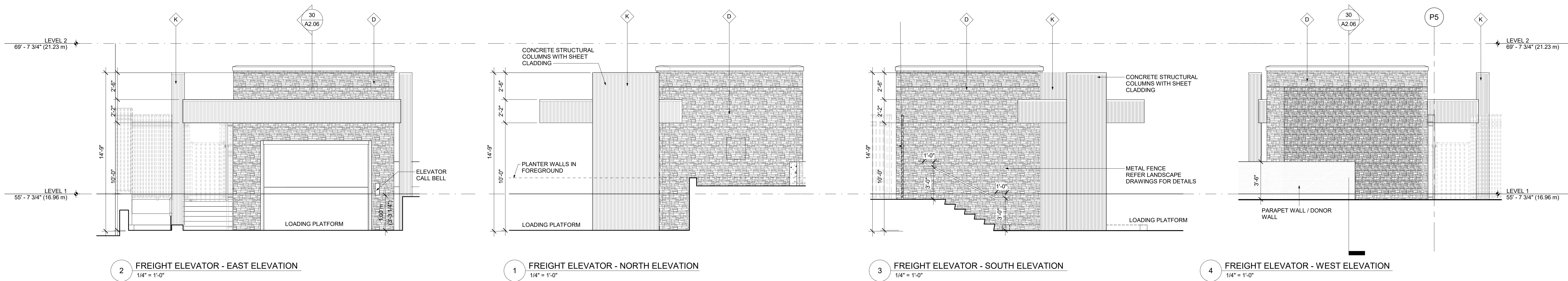
**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

SHEET TITLE:

ROOF PLAN - SOUTH

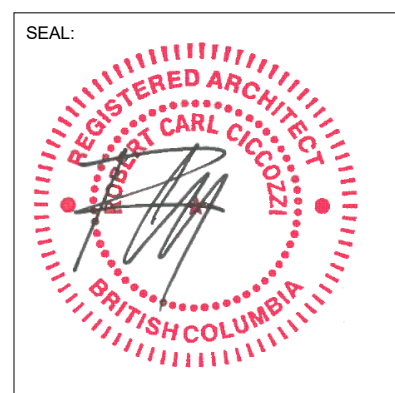
REV. NO.:
SHEET NO.:
A2.05



MATERIAL LEGEND			
A CERAMIC COATED CLADDING CERACLAD COLOUR: SILK CONTEMPORARY SMOOTH	H DOOR & WINDOW FRAMES ANODISED ALUMINIUM COLOUR: BLACK	I RAILINGS ANODISED ALUMINUM COLOUR: BLACK	J GLAZING CLEAR GLASS
B CERAMIC COATED CLADDING CERACLAD COLOUR: SAFFRON CONTEMPORARY SMOOTH	K SHEET METAL CLADDING CORRUGATED METAL SHEET COLOUR: DARK GRAY	L PREFINISHED METAL COMPONENT EXTRUDED ALUMINIUM ANODIZED COLOUR: DARK GRAY	M SPANDREL PANEL GLAZED WITH BACKPAN COLOUR: CLEAR GLASS WITH DUSKY GRAY PANEL
C CERAMIC COATED CLADDING CERACLAD COLOUR: DUSKY GRAY CONTEMPORARY SMOOTH			
D STONE VENEER CULTURED STONE PRO-FIT ALPINE LEDGESTONE COLOUR: ECHO RIDGE			
E CONCRETE ARCHITECTURAL CONCRETE COLOUR: SLATE GRAY			
F ROOF SHINGLES ONYX BLACK			
G HEAVY TIMBER BRACKETS POSTS & BEAMS			

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REVISION:	
NO.:	DATE: DESCRIPTION:
ISSUE:	
DATE:	DESCRIPTION:
05/12/2022	ISSUED FOR BUILDING PERMIT



CICCOTZI
ARCHITECTURE

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:
GURU NANAK DIVERSITY VILLAGE
6471 175A STREET
SURREY, BC

DRAWN BY: SK	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638
SHEET TITLE: FREIGHT ELEVATOR BLOCK, SIGNAGE AND CANOPY DETAILS	
REV. NO.:	SHEET NO.: A2.06

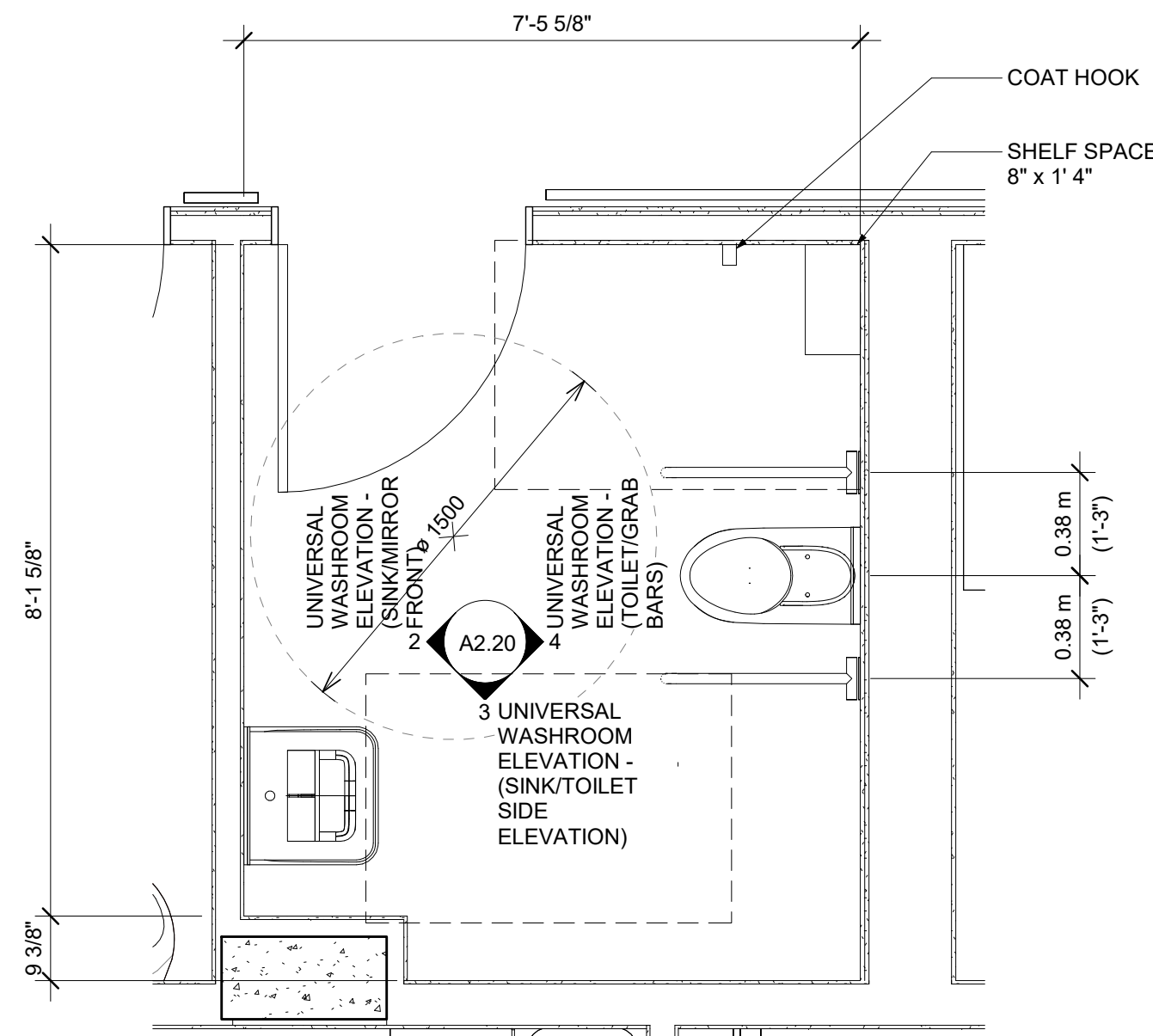
REVISION:

NO. DATE DESCRIPTION

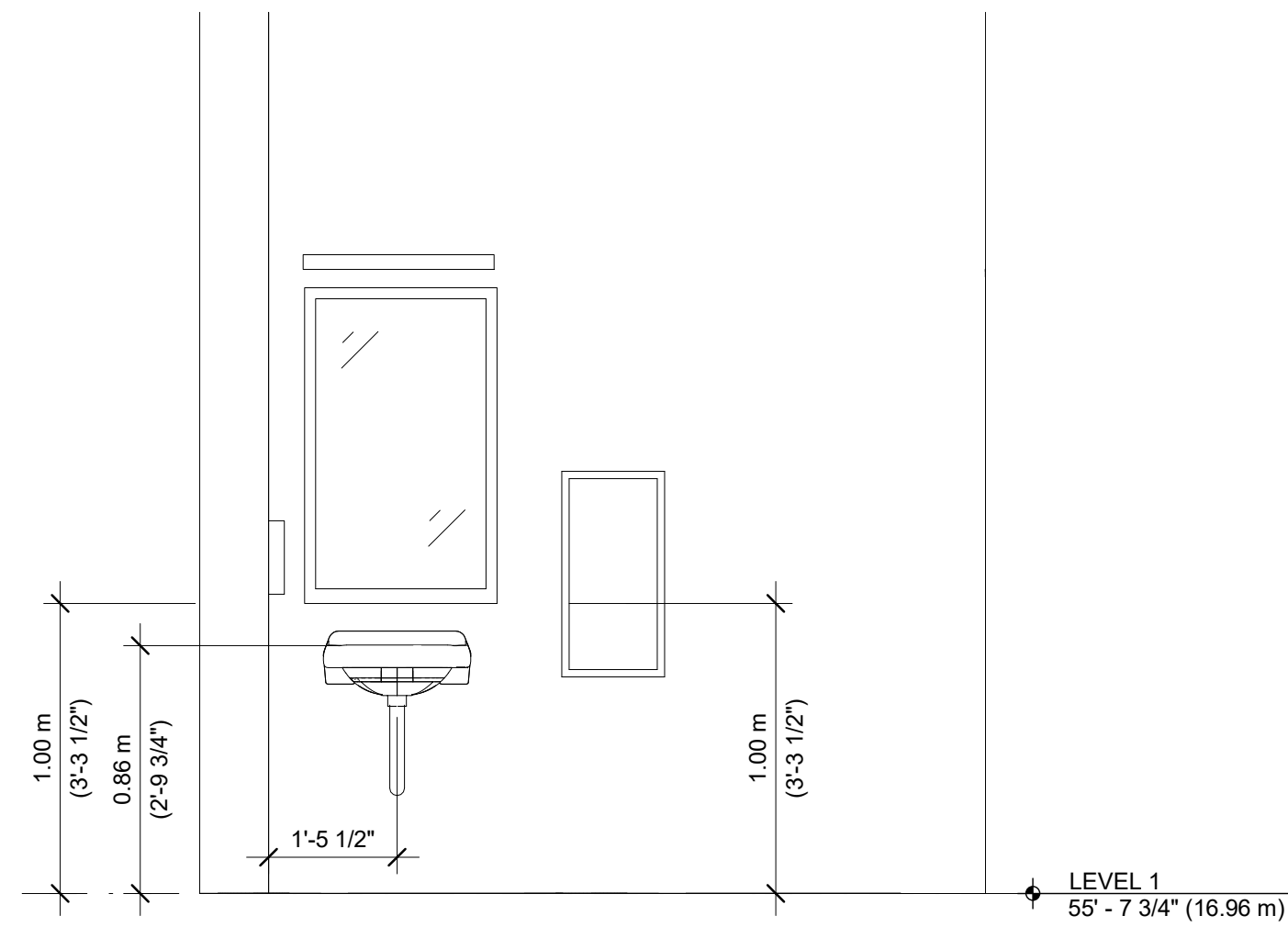
ISSUE:

DATE DESCRIPTION

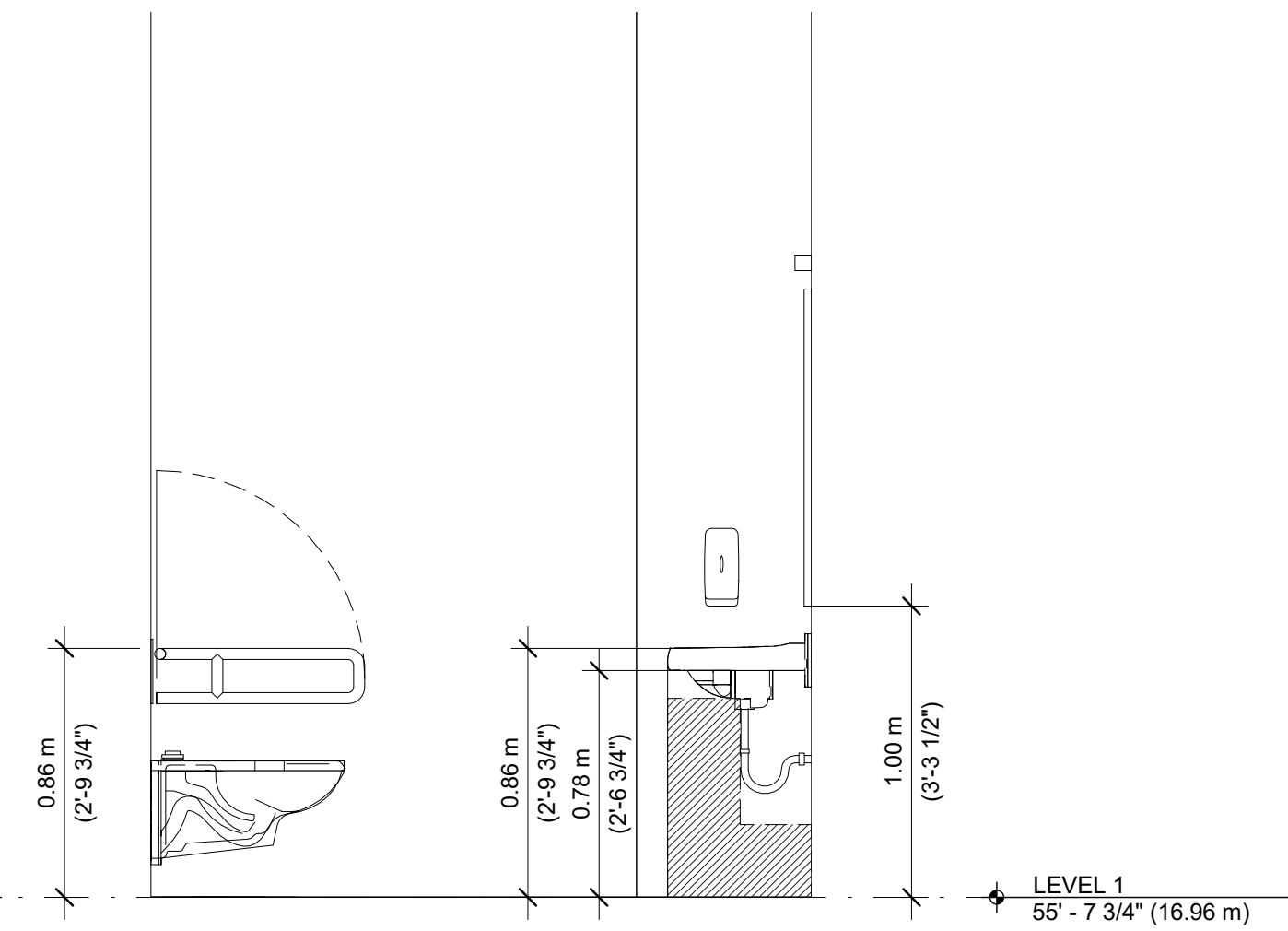
05/12/2022 ISSUED FOR BUILDING PERMIT



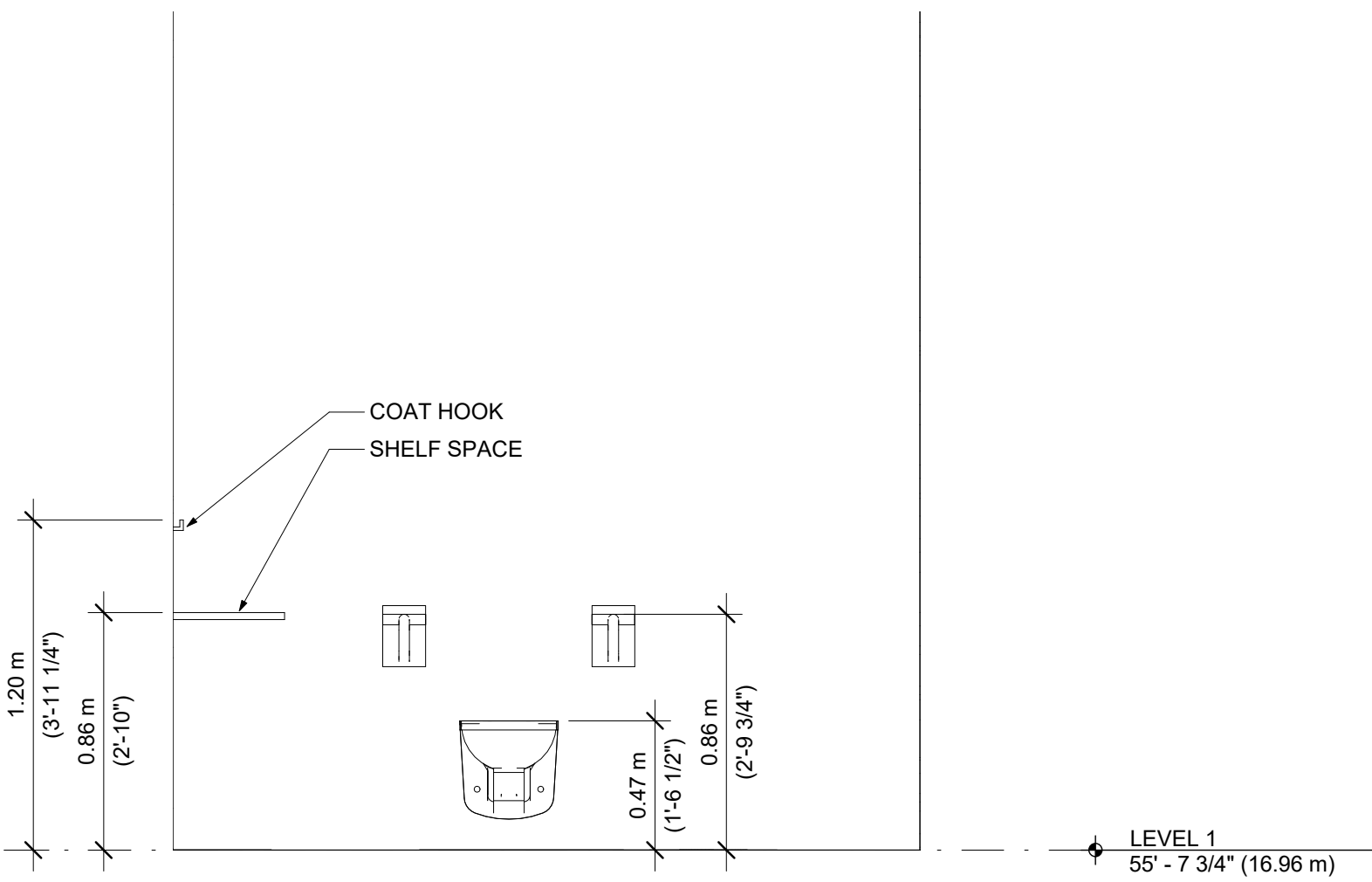
1 UNIVERSAL WASHROOM (ACCESSIBLE)
1/2" = 1'-0"



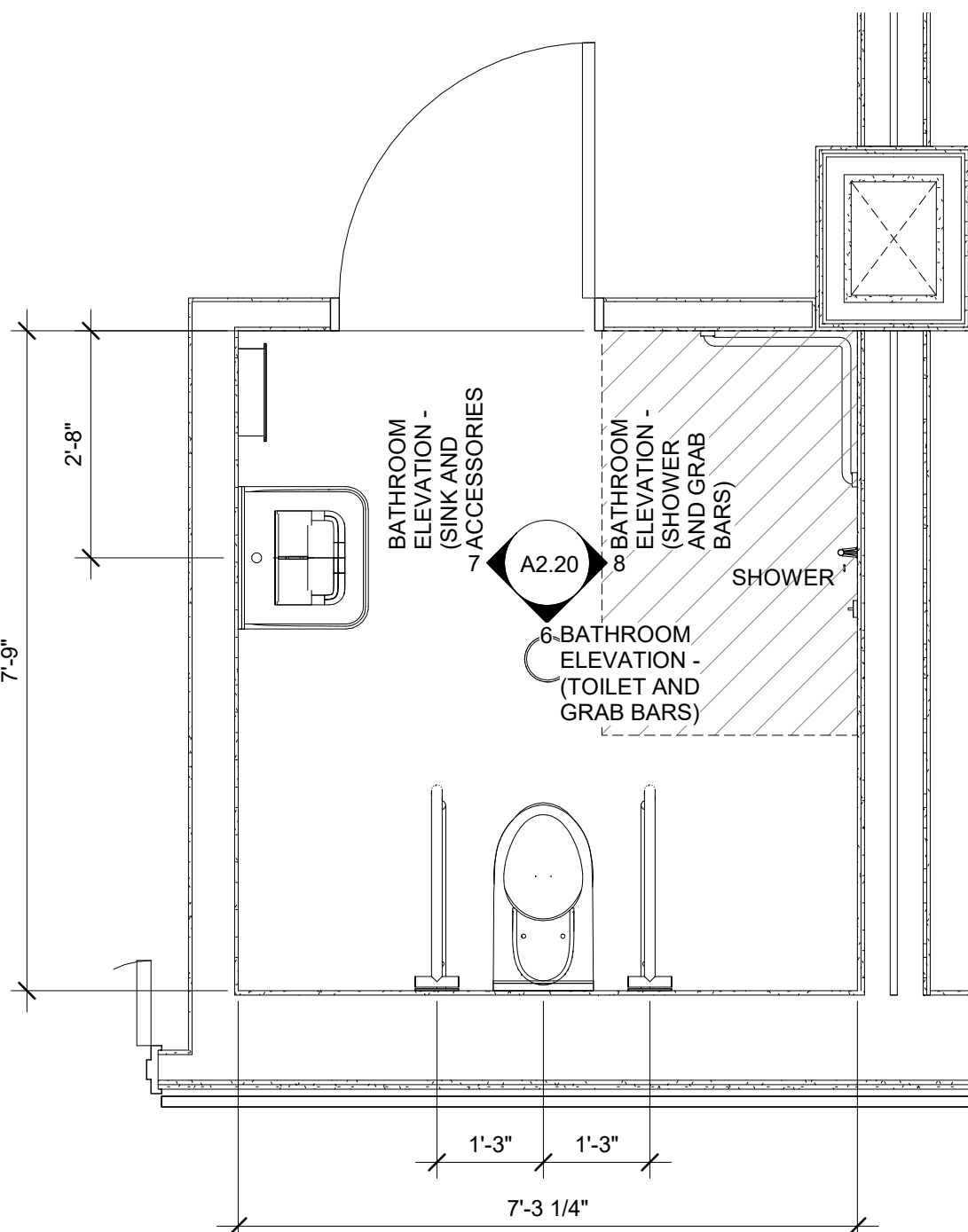
2 UNIVERSAL WASHROOM ELEVATION - (SINK/MIRROR FRONT)
1/2" = 1'-0"



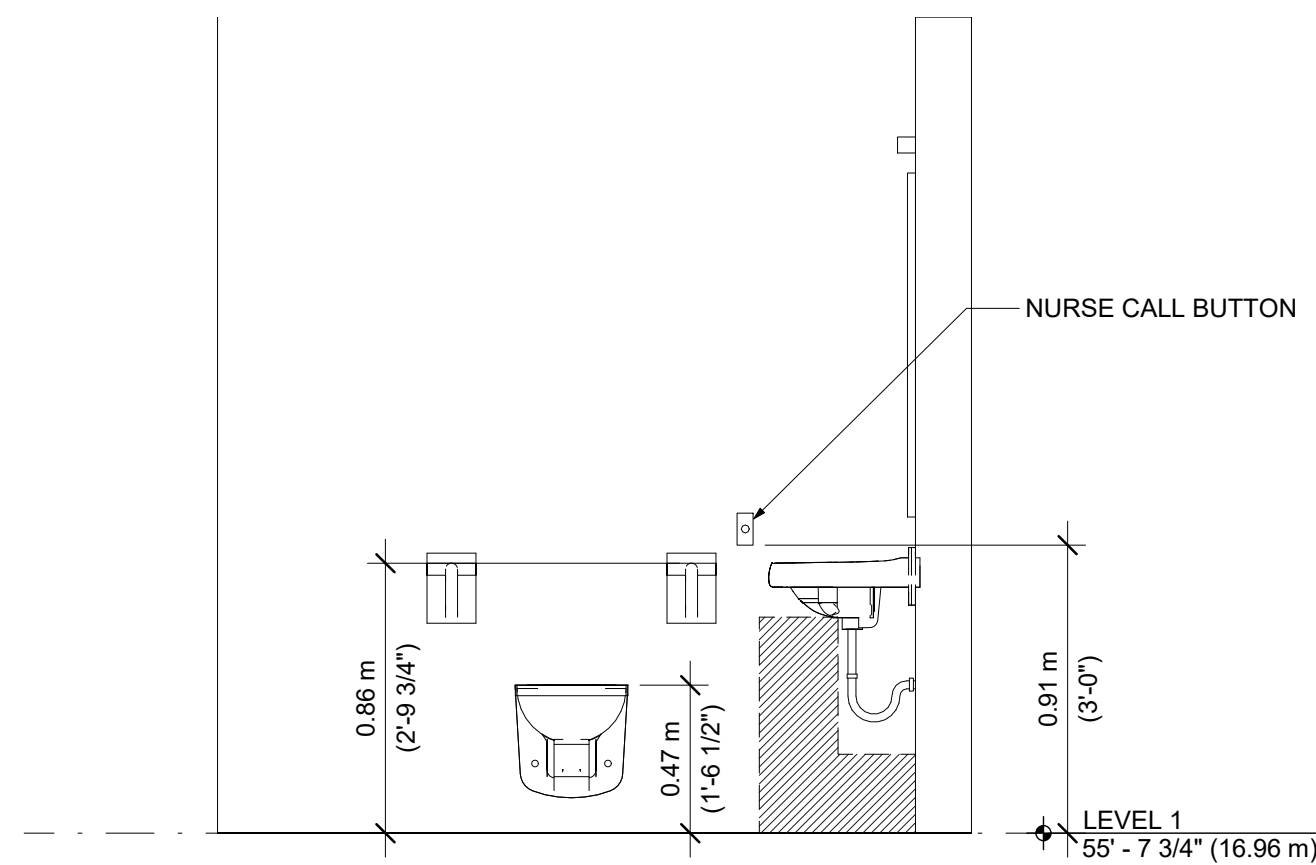
3 UNIVERSAL WASHROOM ELEVATION - (SINK/TOILET SIDE ELEVATION)
1/2" = 1'-0"



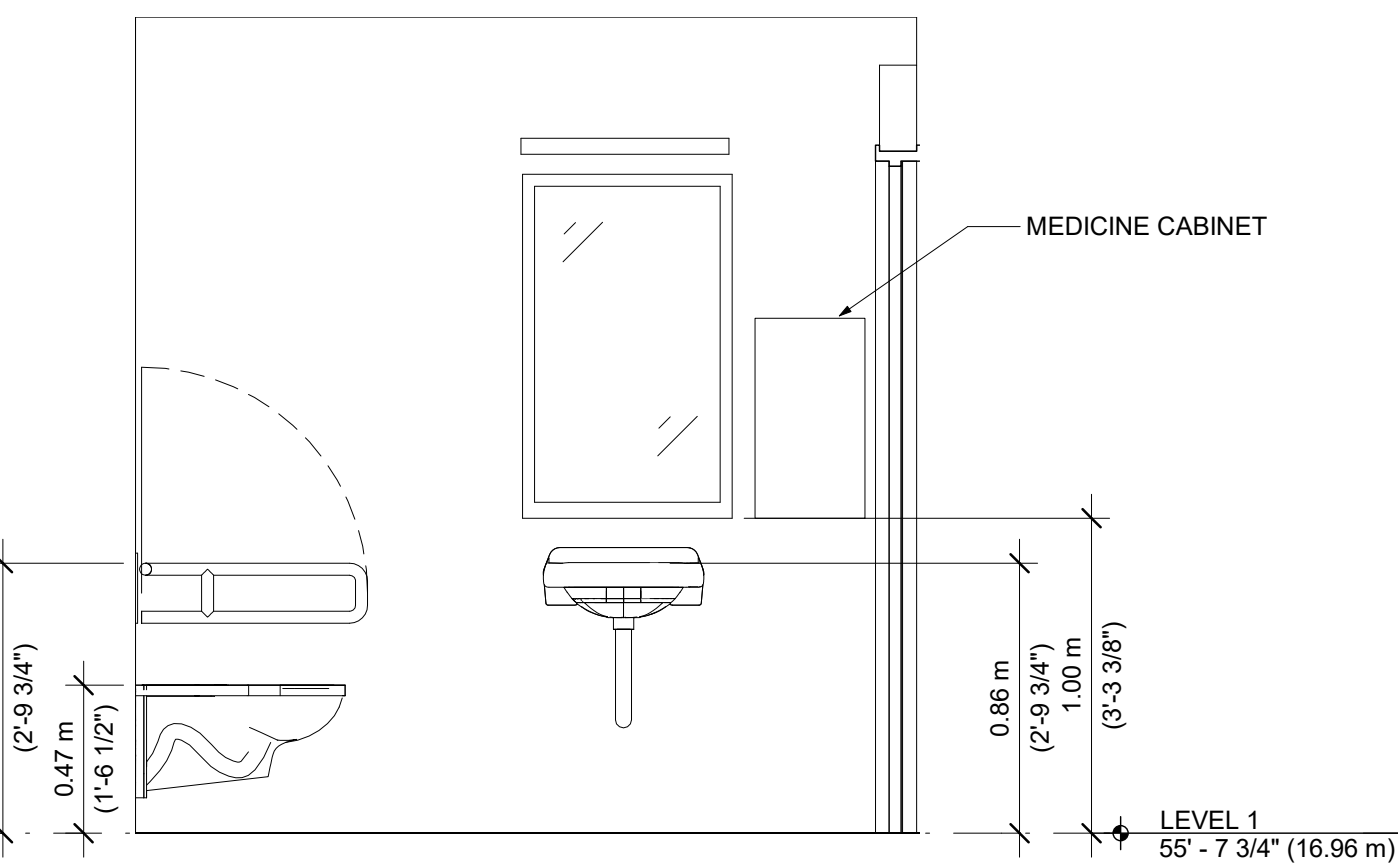
4 UNIVERSAL WASHROOM ELEVATION - (TOILET/GRAB BARS)
1/2" = 1'-0"



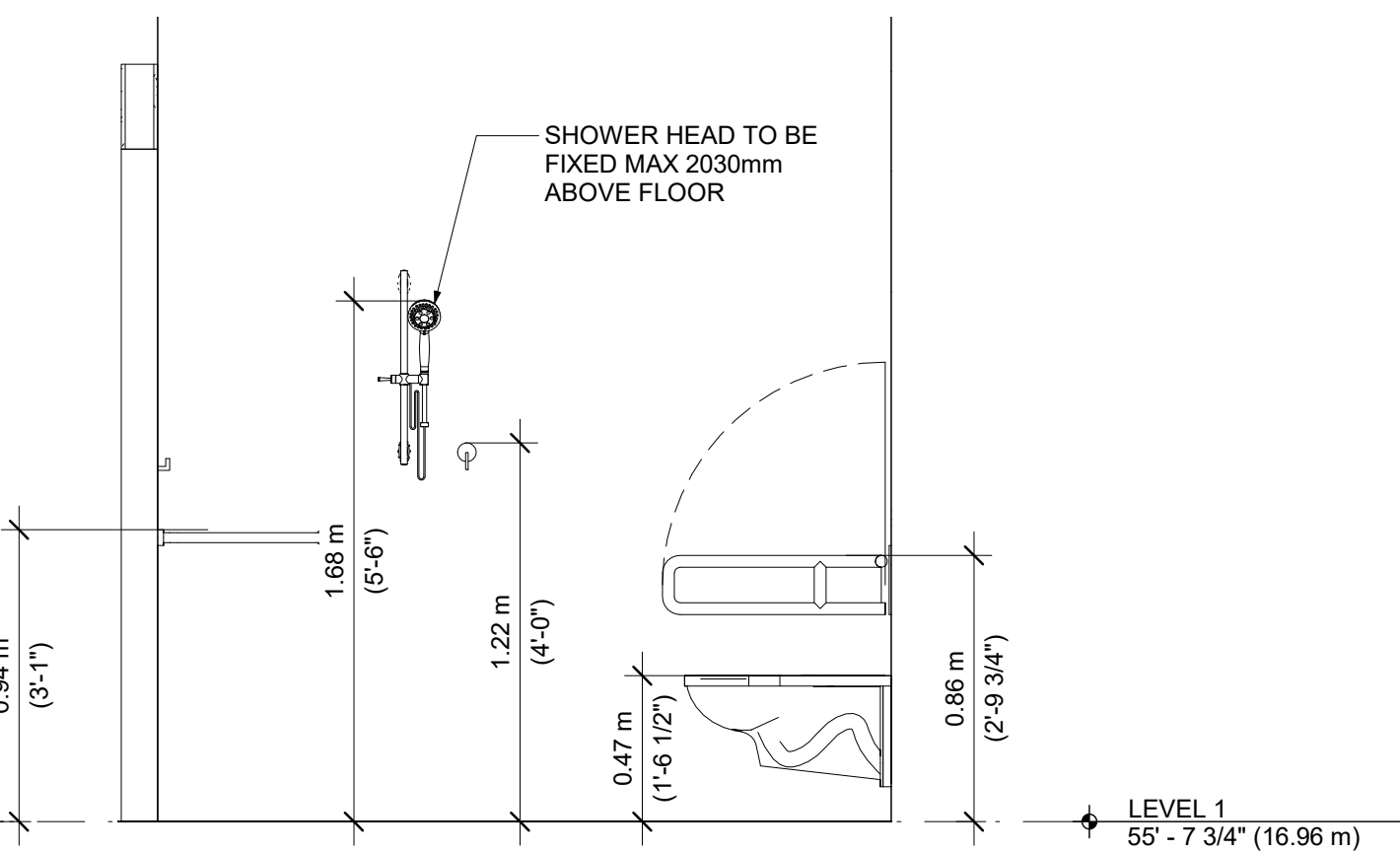
5 STANDARD BATHROOMS IN UNIT - ACCESSIBLE
1/2" = 1'-0"



6 BATHROOM ELEVATION - (TOILET AND GRAB BARS)
1/2" = 1'-0"



7 BATHROOM ELEVATION - (SINK AND ACCESSORIES)
1/2" = 1'-0"



8 BATHROOM ELEVATION - (SHOWER AND GRAB BARS)
1/2" = 1'-0"



CICCOTZI
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15th FLOOR
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VANCOUVER, B.C.
CANADA V6E 2M6
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PROJECT:

GURU NANAK
DIVERSITY
VILLAGE

6471 175A STREET
SURREY, BC

DRAWN BY: RP

CHECKED BY: RC

SCALE: 1/2" = 1'-0"

PROJECT NO.: CA638

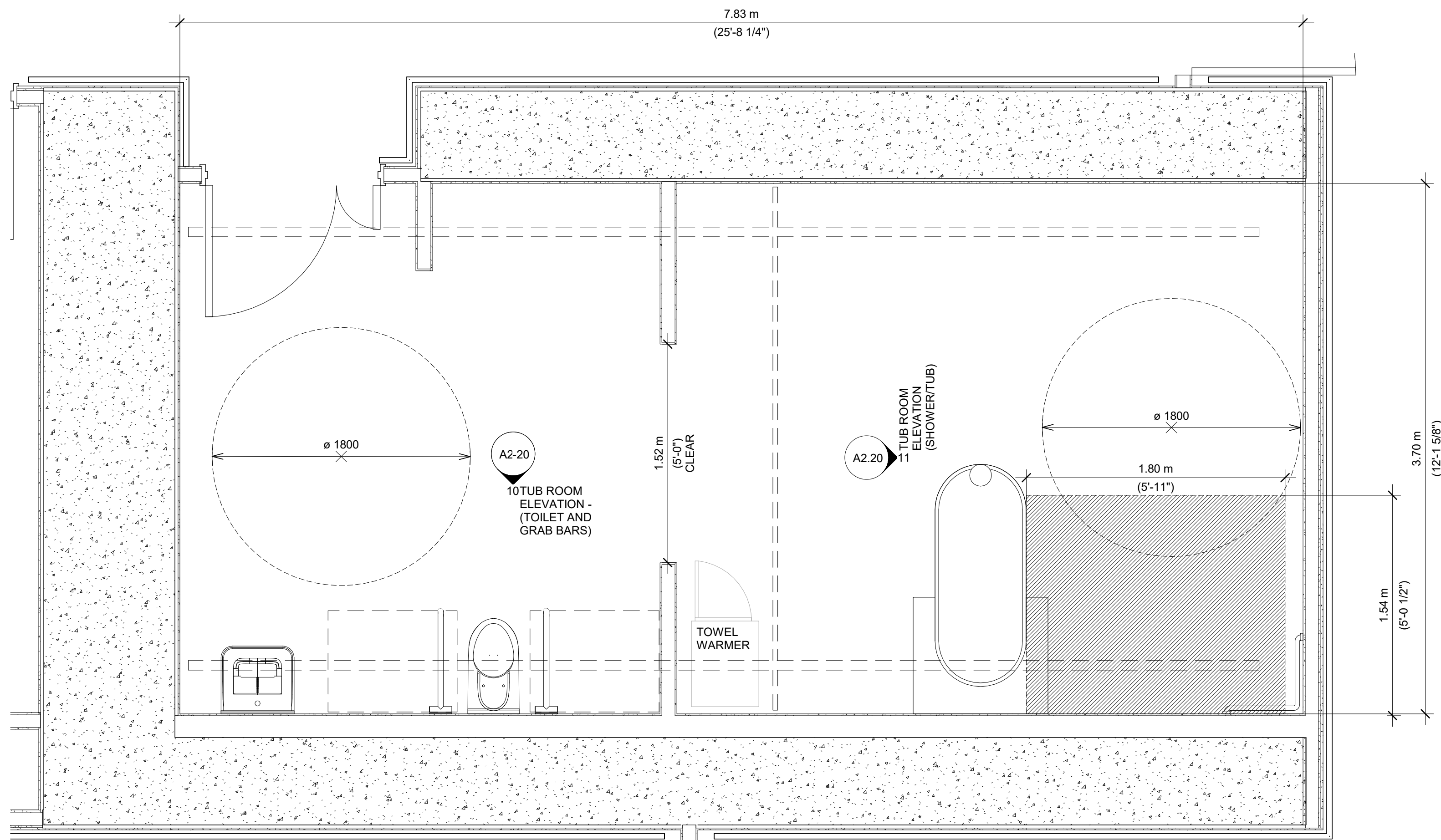
SHEET TITLE:

ACCESSIBLE
WASHROOMS,
SHOWER ROOMS

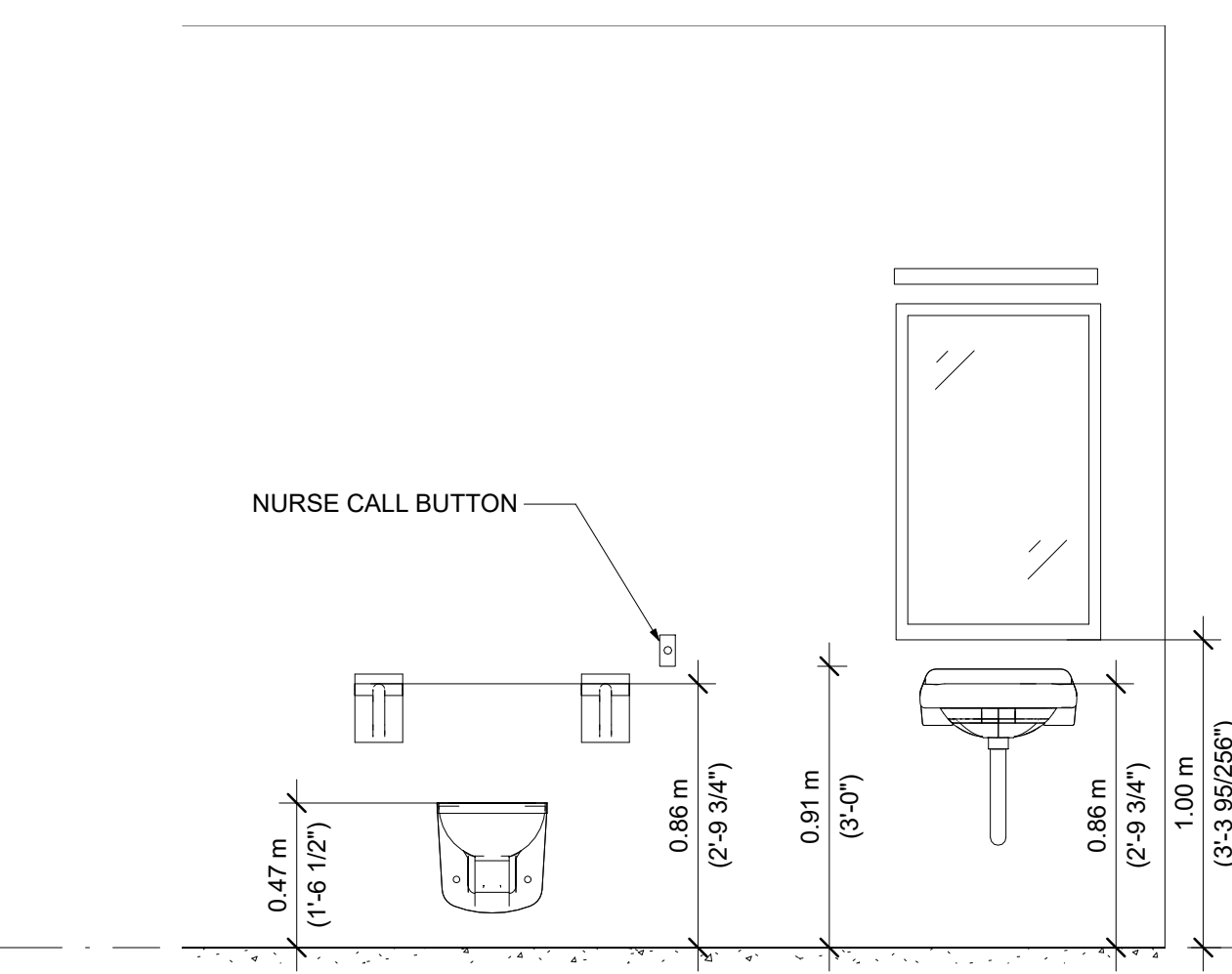
REV. NO.:

SHEET NO.:

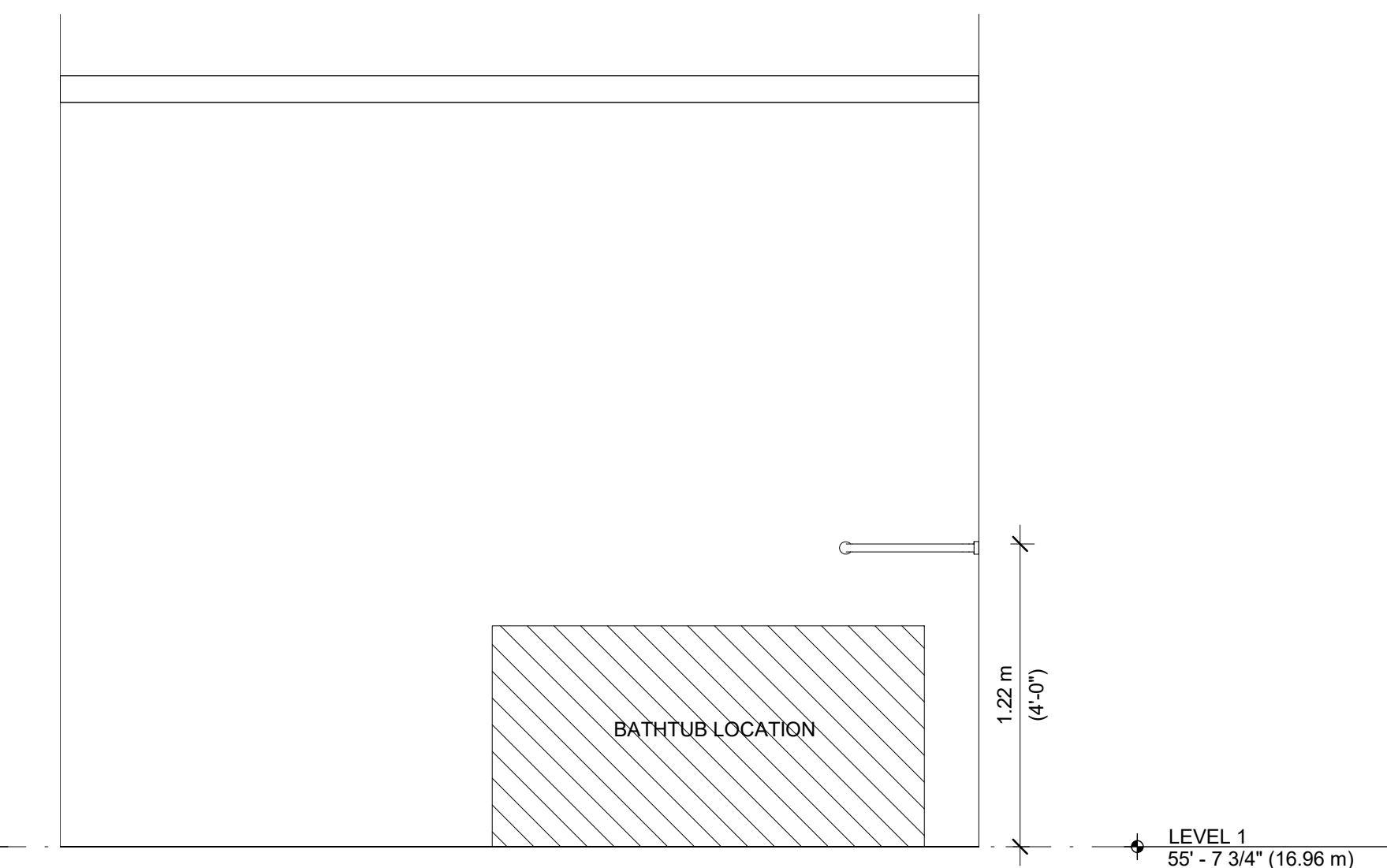
A2.20



9 TUB ROOM
1/2" = 1'-0"



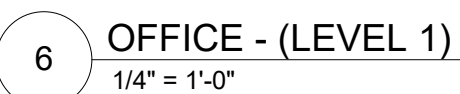
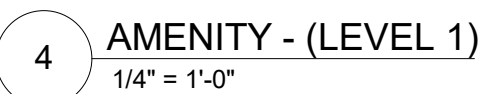
10 TUB ROOM ELEVATION - (TOILET AND GRAB BARS)
1/2" = 1'-0"



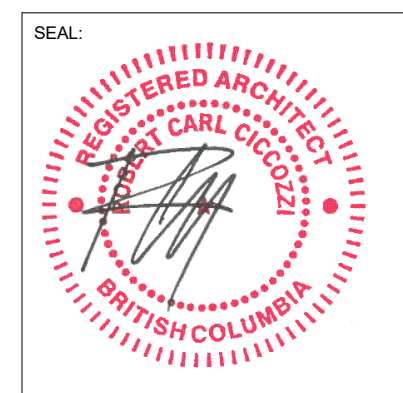
11 TUB ROOM ELEVATION (SHOWER/TUB)
1/2" = 1'-0"

Room Name	Room #	Floor Material	Base	Interior Finishes				Ceiling		Wall Protection Accessory	
				North	East	South	West	Material	Finish		
Parking Floor Level (P1)											
Elevator Lobby	001	RES-2/RES-3	RB	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	GB/ACT	PT-4/ACT2	HR	
Elevator Machine Room	002	-	-	PT-1	PT-1	PT-1	PT-1	PT-1	PT-1	-	
Housekeeping Equip. & Supplies	003	SFT1	FLASH	PT-1/WP1	PT-1/WP0	PT-1/WP1	PT-1/WP2	ACT	ACT4	-	
Corridor	004	RES	RB	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	GB/ACT	PT-4/ACT2	BG	
Laundry	005	SFT1	-	PT-1/WP2	PT-1/WP2	PT-1/WP2	PT-1/WP2	ACT	ACT4-V	-	
Exit Corridor -1	006	PT-1	-	PT-1	PT-1	PT-1	PT-1	ACT	PT-4	-	
Service Corridor	007	RES	RB	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	GB/ACT	PT-4/ACT2	-	
Vestibule	006-B	RES-2	RB	PT-1	PT-3	PT/WP1/HR	PT-1	ACT	ACT4	-	
Staff Elevator Lobby	008	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Freight Elevator Machine Room	009	-	-	PT-1	PT-1	PT-1	PT-1	PT-1	PT-1	-	
Receiving Area	010	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Water Entry	011	CONC	-	-	-	-	-	-	-	-	
Landscape Equip Storage	012	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Service Parking Bay	013	CONC	-	PT	PT	PT	PT	-	-	-	
Care Facility Parkade	014	CONC	-	PT	PT	PT	PT	-	-	-	
Garage & Recycling	015	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Corridor	019	RES	RB	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	PT-1/WP2/BG	GB/ACT	PT-4/ACT2	BG	
Temp. Waste Stor.	020	CONC	RB	PT-1/WP2	PT-1/WP2	PT-1/WP2	PT-1/WP2	ACT	ACT4	-	
Common Room	021	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Visitors Vestibule	022	RES-2	RB	PT-1	PT-1	PT/WP1/HR	PT-1	ACT	ACT4	-	
Main Equipment	023	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Bike Storage	024	CONC	RB	PT-1	PT-1	PT-1	PT-1	EXP/CONC	PT-4	-	
Sub Electrical Room	025	CONC	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Cart Washing	026	SFT2	FLASH	WP3F	WP3F	WP3F	WP3F	GB	PT-E-4	-	
Staff Vestibule	027	RES	RB	PT-1	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-
Washroom, Men's	028	SFT1	FLASH	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Washroom, Women's	029	SFT1	FLASH	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Maintenance Workshop	030	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Maintenance Office	031	RES	RB	PT-1	PT-3	PT-1	PT-1	ACT	ACT4	-	
Tools & Equip. Storage	032	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Maintenance Storage	033	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Exit Corridor - 2	036	-	-	PT-1	PT-1	PT-1	PT-1	-	-	-	
Archive Room	038	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Medical Storage	039	RES	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Wheelchair Wash.	040	SFT2	FLASH	WP3F	WP3F	WP3F	WP3F	GB	PT-E-4	-	
Staff Lounge	041	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Production Kitchen	042	SFT3	FLASH	WP3F	WP3F	WP3F	WP3F	ACT	ACT4-V	-	
Stairwell	099	RES-RES-TRD	RB	PT-1	PT-1	PT-1	PT-1	EXP/CONC	PT-4	-	
Floor Level 1 (L1)											
Care Centre	101	RES-WD	RB	-	PT-1	PT-1	-	GB	PT-4	-	
Seating Area	103	RES-WD	RB	PT-1/DR	-	PT-1/CR	PT-1	GB	PT-E-4	CR	
Soled Utility	104	SFT1	FLASH	PT-E-1/WP2	PT-E-1/WP2	PT-E-1/WP2	PT-E-1/WP2	GB	PT-4	-	
Clean Linen	105	RES	RB	PT-1/WP2	PT-1/WP2	PT-1/WP2	PT-1/WP2	ACT	ACT4	-	
Washroom, Staff	106	SFT1	FLASH	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Quiet Room	108	RES-WD	RB	PT-1/CR	PT-1/CR	PT-1/CR	PT-1/CR	GB	PT-4	CR	
Activity / Sensory Rm.	110	RES-WD	RB	PT-1/CR	PT-1	PT-1/CR	PT-1	GB	PT-4	CR	
Tub Room	111	SFT2	FLASH	WP5	WP5	WP5	WP5	GB	PT-E-4	-	
Laundry	112	SFT1	FLASH	PT-1/WP2	PT-1/WP2	PT-1/WP2	PT-1/WP2	ACT	ACT4-V	-	
Washroom	113	SFT1	FLASH	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Bedroom	114	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	114	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	115	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	115	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	116	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	116	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	117	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	117	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	118	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	118	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	119	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	119	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	120	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	120	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	121	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	121	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	122	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	122	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	123	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	123	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	124	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	124	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	125	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	125	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	126	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	126	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	127	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	127	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	128	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	128	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	129	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	129	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	130	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	130	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	131	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	131	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	132	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	132	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	133	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	133	SFT2	FLASH	WP5	WP5	PT-1	PT-1	GB	PT-E-4	-	
Resident Bedroom	134	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	134	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	135	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	135	SFT2	FLASH	PT-1	WP5	WP5	PT-1	GB	PT-E-4	-	
Resident Bedroom	136	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	136	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Resident Bedroom	137	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	137	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Resident Bedroom	138	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	138	SFT2	FLASH	WP5	PT-1	PT-1	WP5	GB	PT-E-4	-	
Resident Bedroom	139	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	139	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Resident Bedroom	140	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	140	SFT2	FLASH	WP5	PT-1	PT-1	WP5	GB	PT-E-4	-	
Resident Bedroom	141	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	141	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Resident Bedroom	142	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	142	SFT2	FLASH	WP5	PT-1	PT-1	WP5	GB	PT-E-4	-	
Bariatric Bedroom	143	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Bariatric Washroom	143	SFT2	FLASH	WP5	PT-1	PT-1	WP5	GB	PT-E-4	-	
Resident Bedroom	144	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	144	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Resident Bedroom	145	RES-TX	RB	PT-1	PT-1	PT-1/WP4	PT-1	GB	PT-4	-	
Resident Washroom	145	SFT2	FLASH	WP5	PT-1	PT-1	WP5	GB	PT-E-4	-	
Resident Bedroom	146	RES-TX	RB	PT-1/WP4	PT-1	PT-1	PT-1	GB	PT-4	-	
Resident Washroom	146	SFT2	FLASH	PT-1	PT-1	WP5	WP5	GB	PT-E-4	-	
Activity	147	RES-WD	RB	PT-1/CR	PT-1/CR	PT-1/CR	PT-1/CR	GB	PT-4	CR	
Elevator Lobby	148A	ES-ST/RES-ST	RB	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	GB/ACT	PT-4/ACT2	HR	
Gift Shop Kiosk	148	ES-ST/RES-ST	RB	-	-	PT-1	PT-1	GB	PT-4	-	
Lobby/Corridor	148	ES-ST/RES-ST	RB	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	GB/ACT	PT-4/ACT2	HR	
North Foyer	148	ES-ST/RES-ST	RB	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	GB/ACT	PT-4/ACT2	HR	
Reception Desk	148	RES-WD	RB	-	PT-1	PT-1	PT-1	GB	PT-4	-	
South Foyer	148B	RES-ST/RES-ST	RB	-	PT-1/WP1/HR	PT-1/WP1/HR	PT-1/WP1/HR	ACT/GB	ACT4/PT-4	HR	
Team Conference Rm.	150	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
General Office	150	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Office 1	151	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Office 2	152	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Business Office	153	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	GB	PT-4	-	
Volunteer's Office	154	RES-WD	RB	PT-1	PT-1	PT-1	PT-1	ACT	ACT4	-	
Conference Room	156	RES-WD	RB	PT-1/CR	PT-1/PT						

ROOM NAME	ROOM #	FLOOR MATERIAL
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[illegible]

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CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

**GURU NANAK
DIVERSITY
VILLAGE**

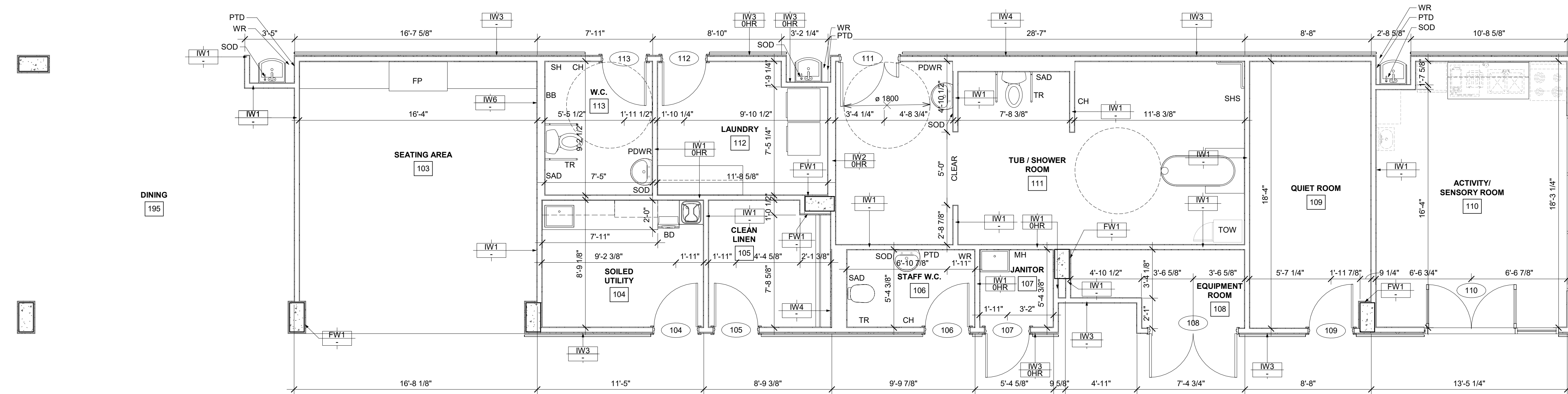
6471 175A STREET
SURREY, BC

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SCALE: As indicated	PROJECT NO.: CA638

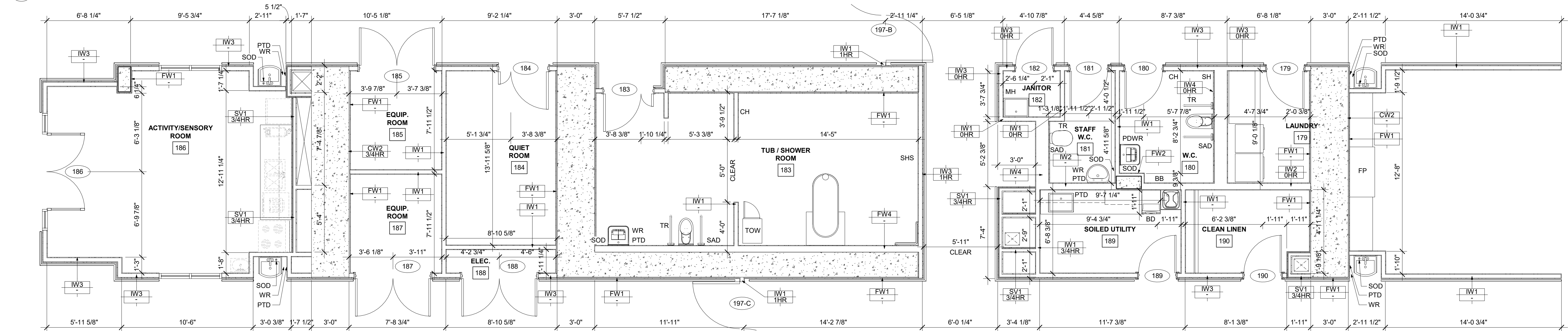
SHEET TITLE:

**ENLARGED ROOM
PLANS**

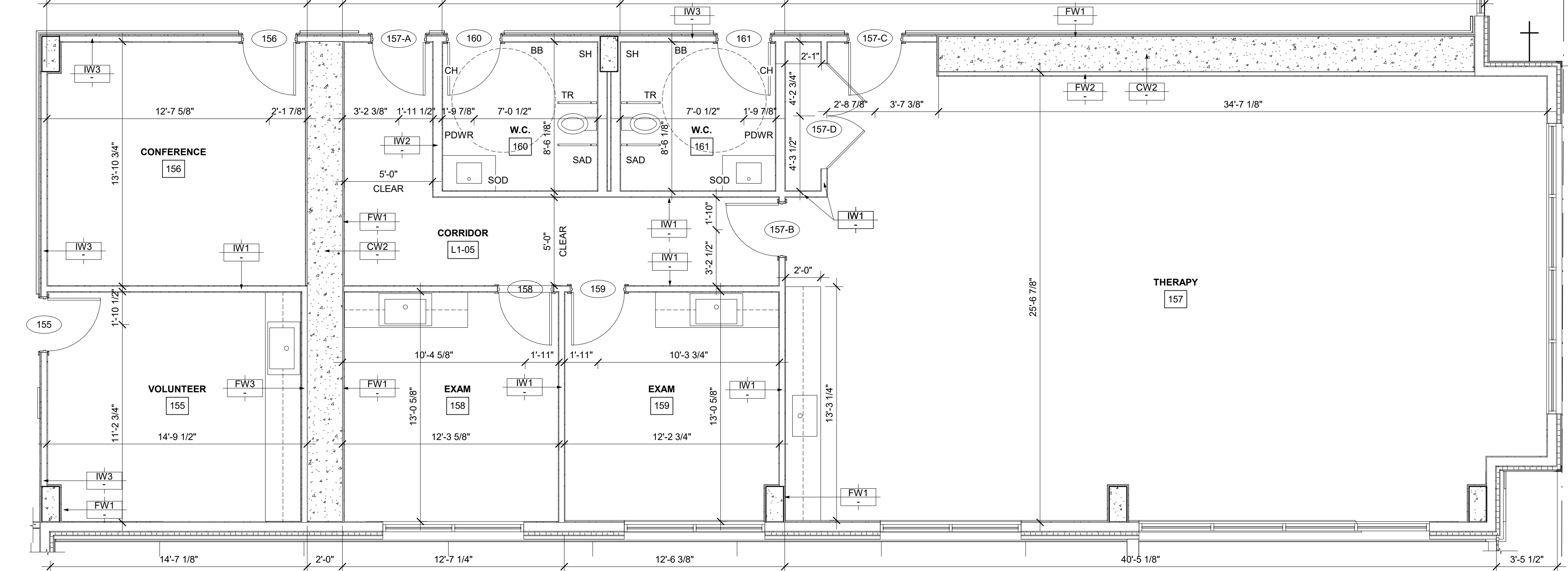
REV. NO.:
SHEET NO.:
A3.00



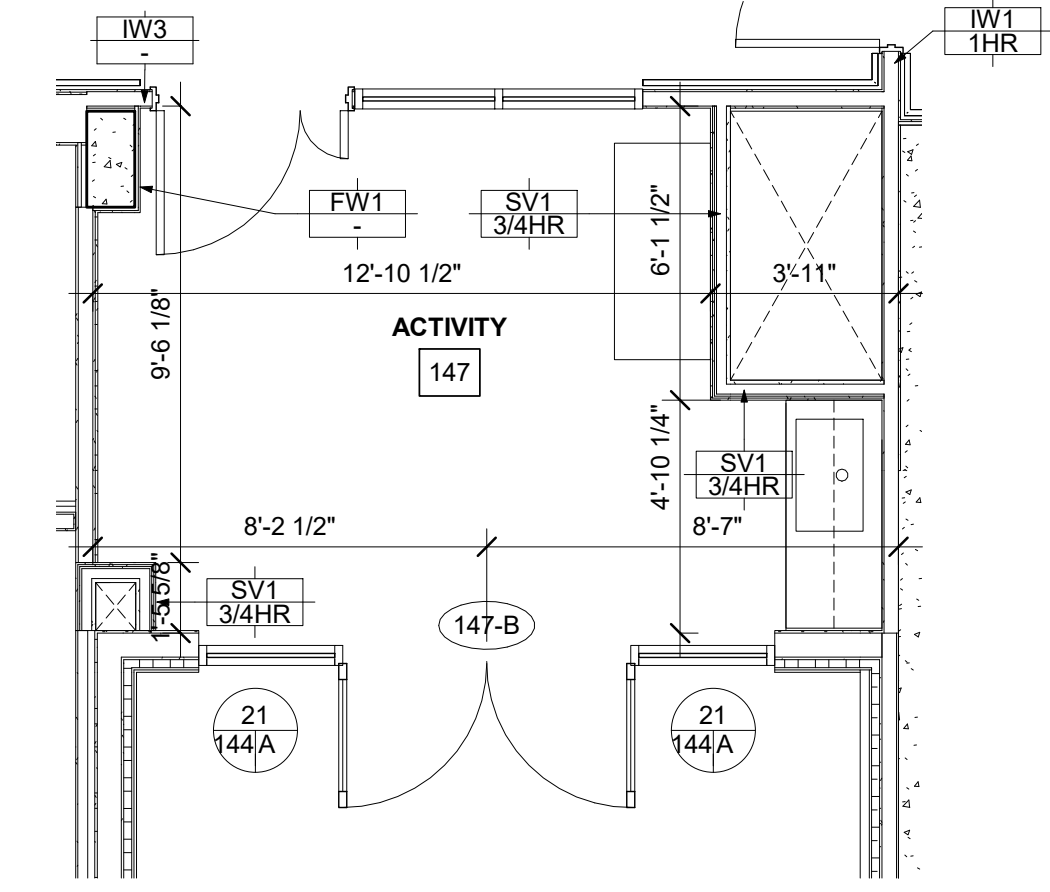
1 AMENITY - HOUSE 1 (LEVEL 1)
1/4" = 1'-0"



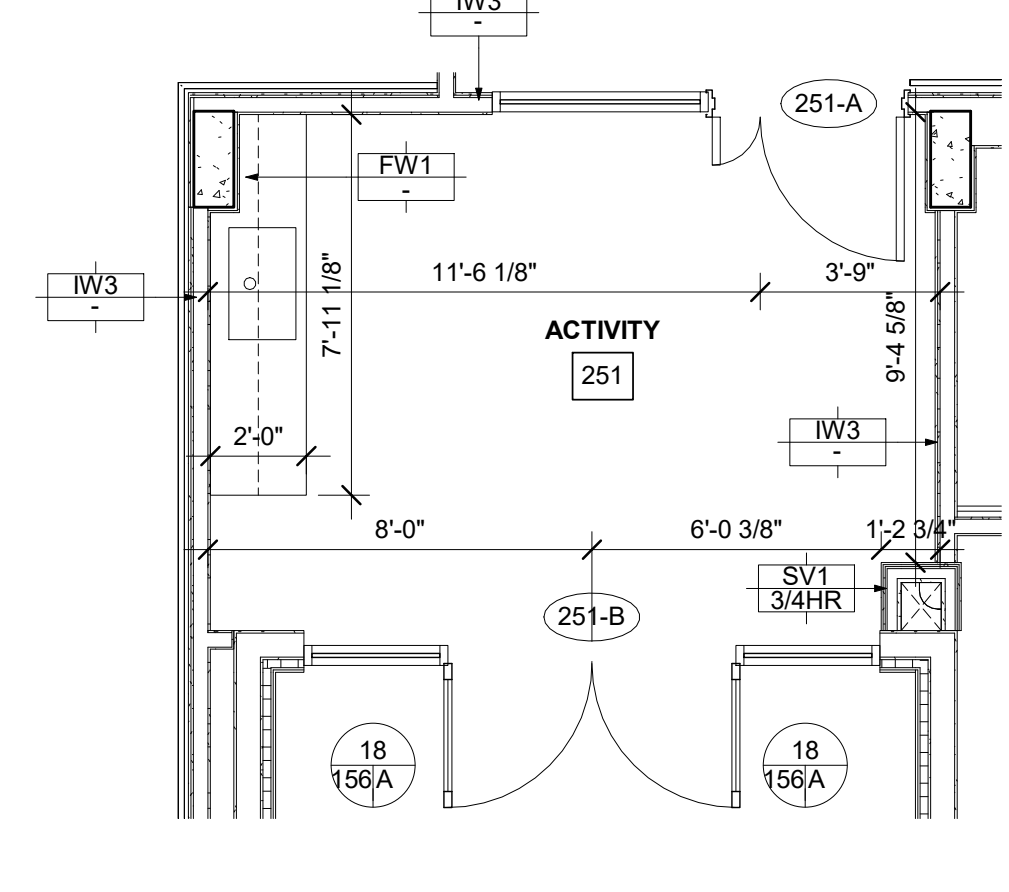
2 AMENITY - HOUSE 2 (LEVEL 1)
1/4" = 1'-0"



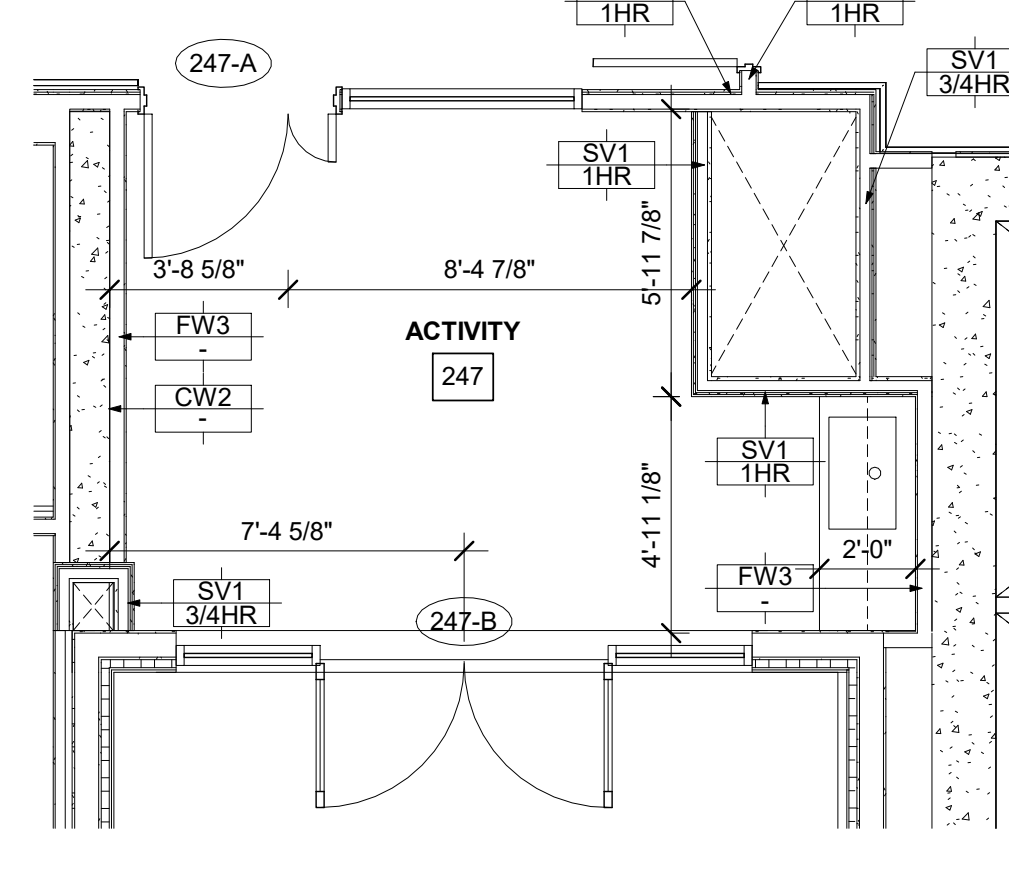
3 AMENITY (THERAPY) - (LEVEL 1)
1/4" = 1'-0"



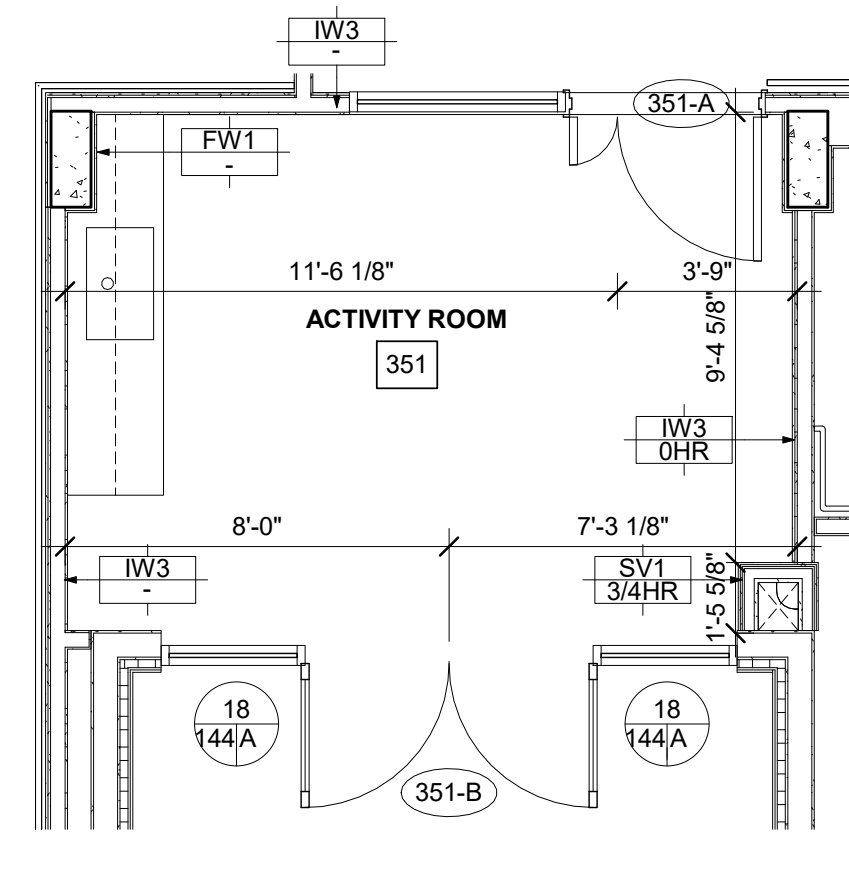
4 ACTIVITY ROOM - HOUSE 2 (LEVEL 1)
1/4" = 1'-0"



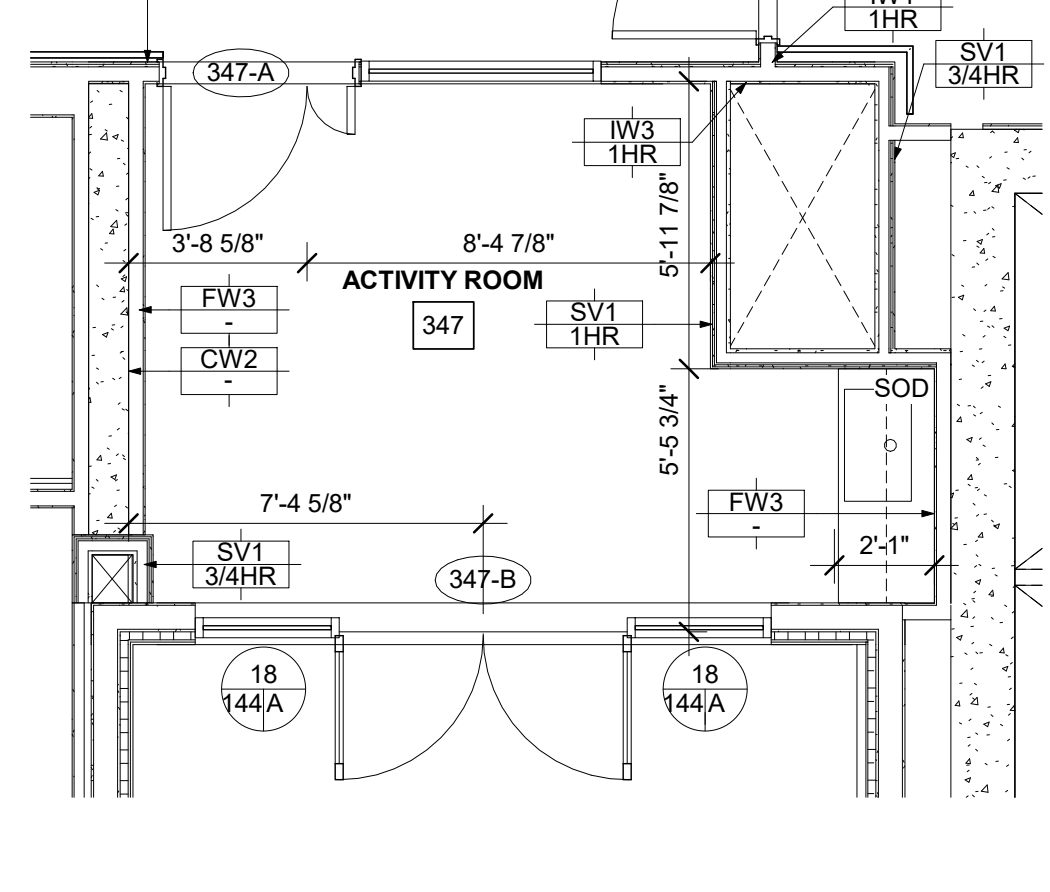
5 ACTIVITY ROOM - HOUSE 3 (LEVEL 2)
1/4" = 1'-0"



6 ACTIVITY ROOM - HOUSE 4 (LEVEL 2)
1/4" = 1'-0"



7 ACTIVITY ROOM - HOUSE 5 (LEVEL 3)
1/4" = 1'-0"



8 ACTIVITY ROOM - HOUSE 6 (LEVEL 3)
1/4" = 1'-0"

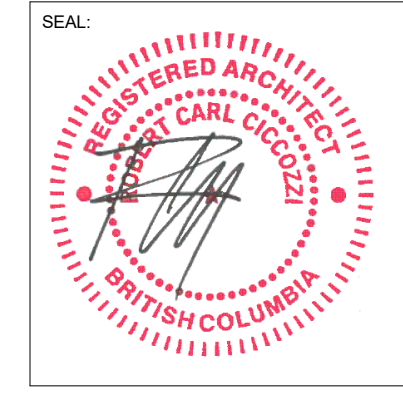
WASHROOM ACCESSORIES LEGEND	
SOD	SOAP DISPENSER
PTD	PAPER TOWEL DISPENSER
PW1	PAPER TOWEL DISPENSER & WASTE RECEPTACLE
SAD	SANITARY DISPENSER
TR	TOILET ROLL HOLDER
SH	SHOULDER
CH	CLOTHES HOOK
SHS	SHOWER SEAT
BB	BBY CHANGING TABLE
TOW	TOWEL WARMER
MC	MEDICINE CABINET

AMENITY ACCESSORIES LEGEND	
BD	BED PAN DISINFECTOR
MH	MOP HOLDER
FP	FIRE PLACE

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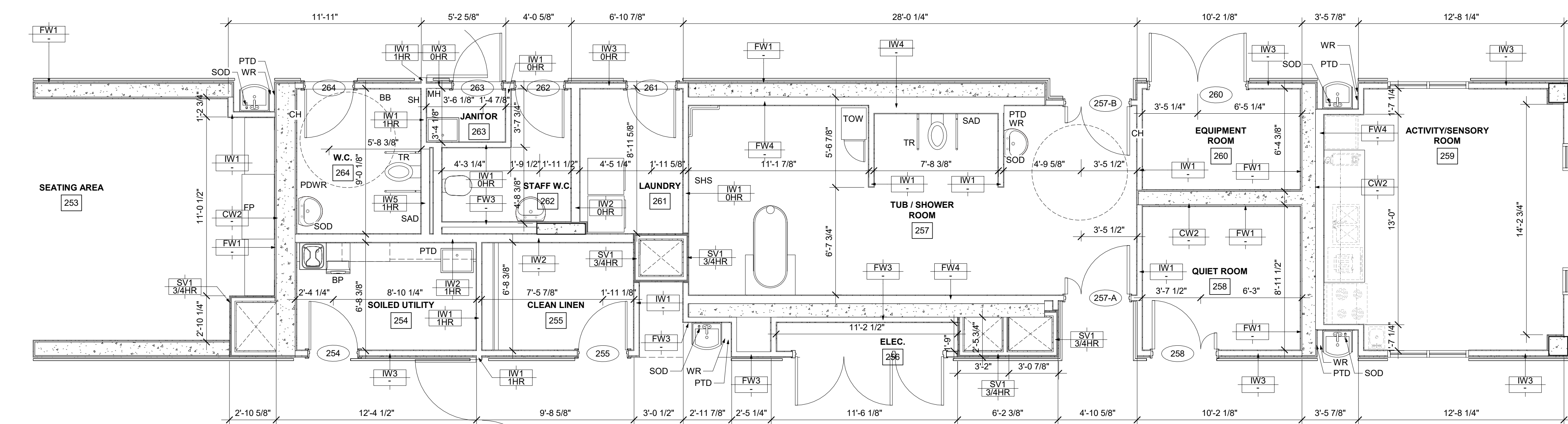


PROJECT:
GURU NANAK DIVERSITY VILLAGE
6471 175A STREET
SURREY, BC

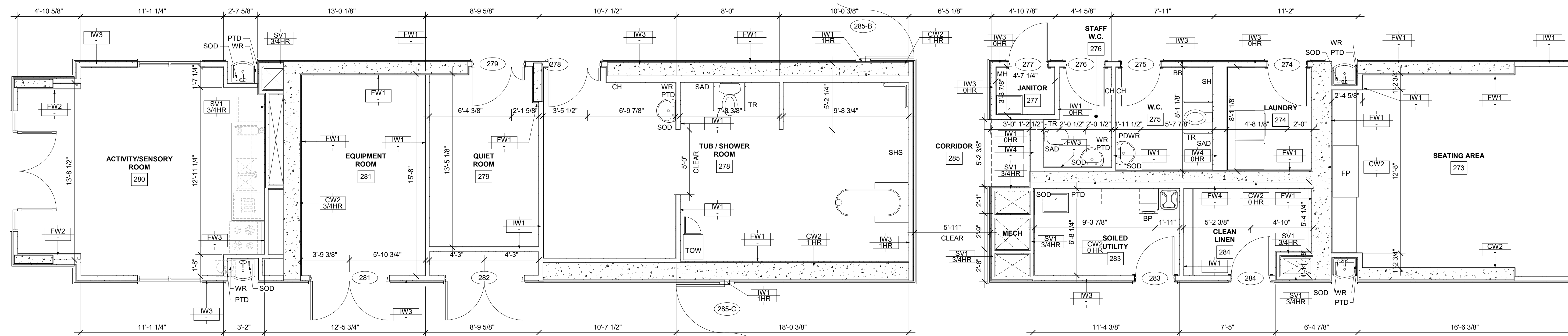
DRAWN BY: RP	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638

SHEET TITLE:
ENLARGED ROOM PLANS

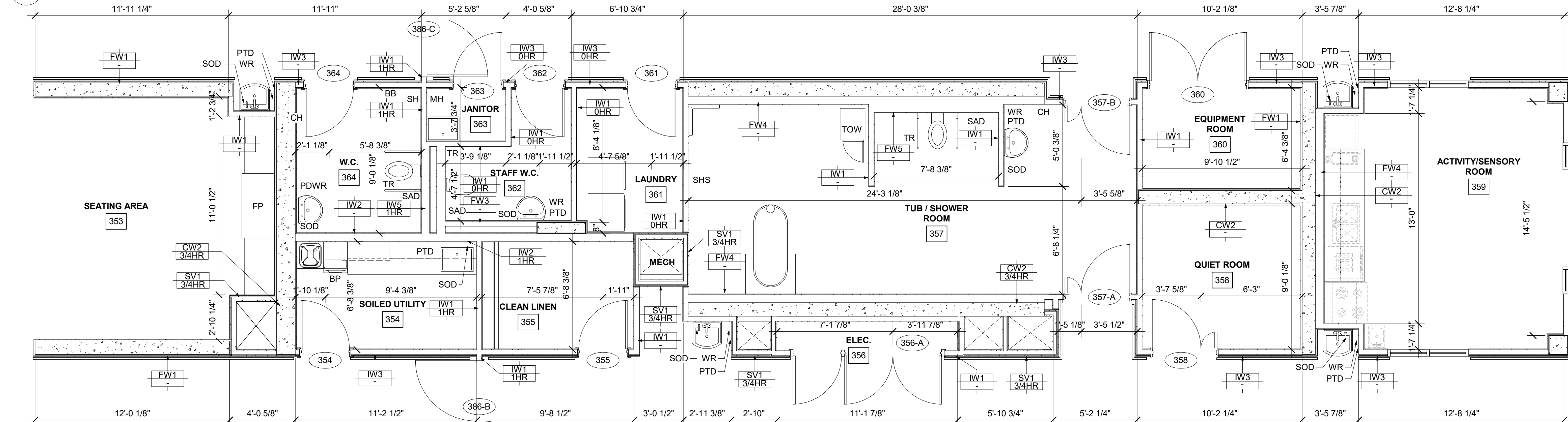
REV. NO.:	SHEET NO.: A3.10
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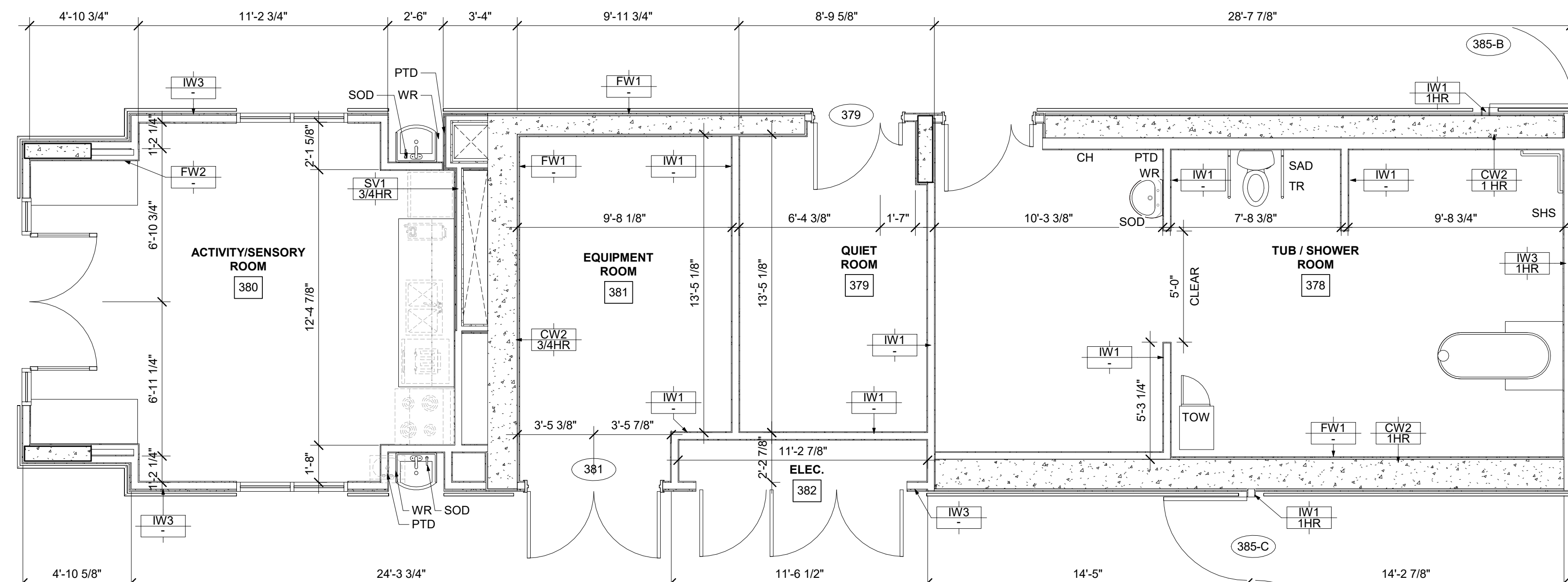
1 AMENITY - HOUSE 3 (LEVEL 2)
1/4" = 1'-0"



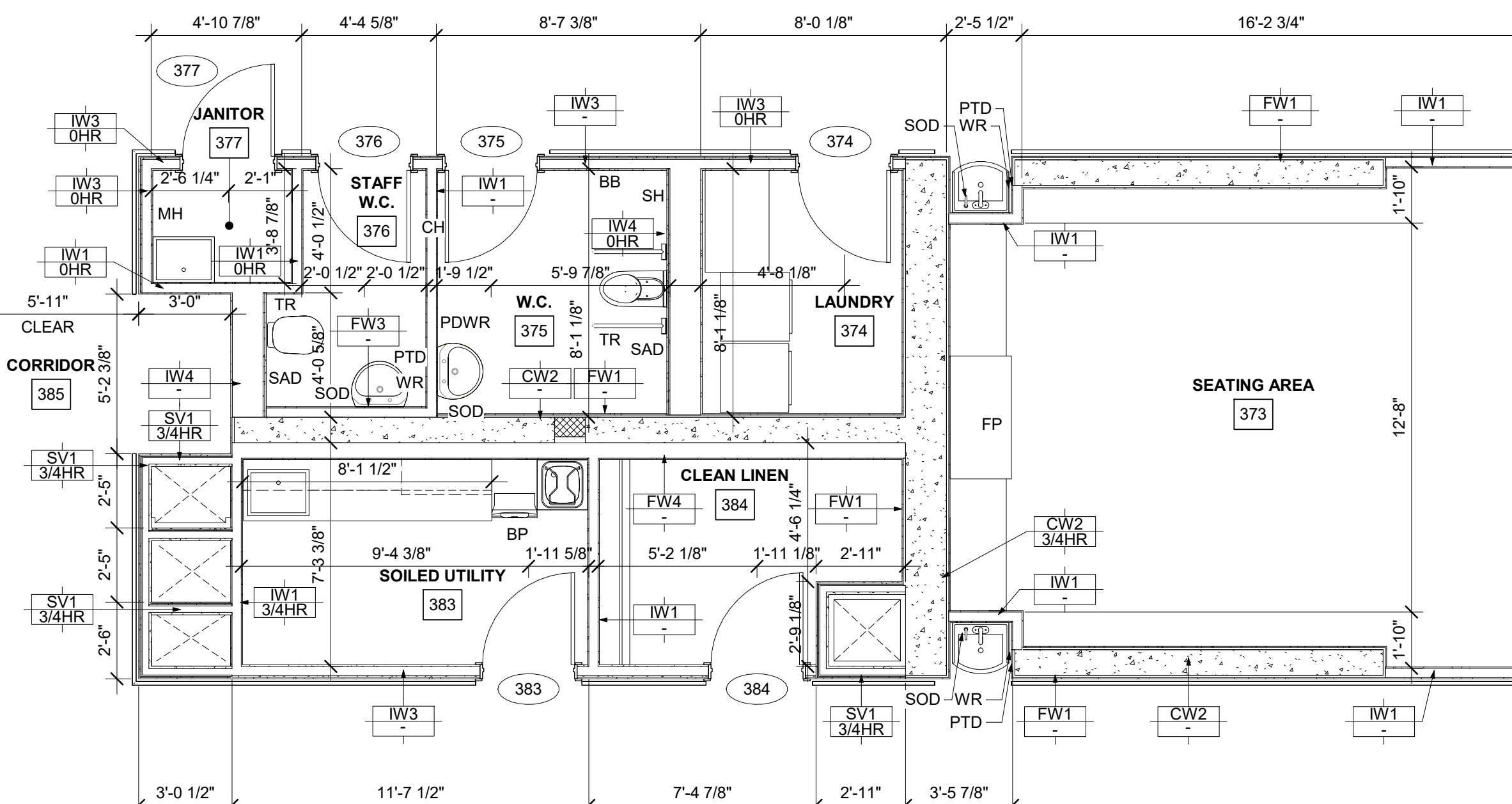
2 AMENITY - HOUSE 4 (LEVEL 2)
1/4" = 1'-0"



3 AMENITY - HOUSE 5 (LEVEL 3)
1/4" = 1'-0"



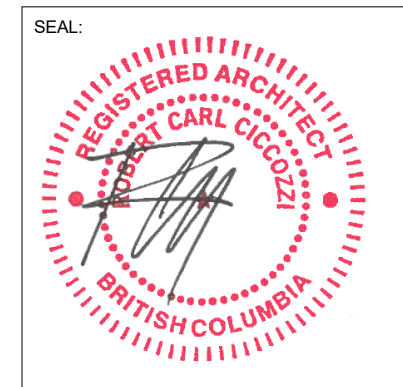
4 AMENITY - HOUSE 6 (LEVEL 3)
1/4" = 1'-0"



WASHROOM ACCESSORIES LEGEND	
SOD	SOAP DISPENSER
PTD	PAPER TOWEL DISPENSER
PDWR	PAPER TOWEL DISPENSER & WASTE RECEPTACLE
WR	WASTE RECEPTACLE
SAD	SANITARY DISPENSER
TR	TOILET ROLL HOLDER
SH	SHOULDER
CH	CLOTHES HOOK
BB	BBY CHANGING TABLE
TOW	TOWEL WARMER
MC	MEDICINE CABINET

AMENITY ACCESSORIES LEGEND	
BD	BED PAN DISINFECTOR
MH	MOP HOLDER
FP	FIRE PLACE

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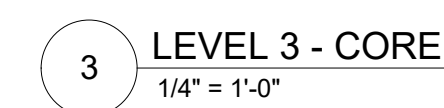
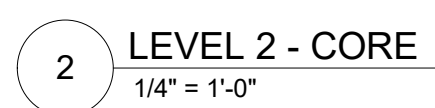
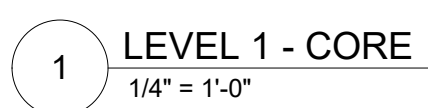
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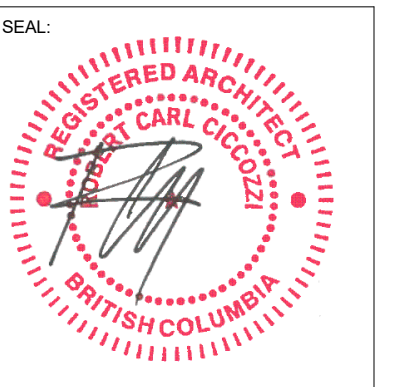
PROJECT:
GURU NANAK DIVERSITY VILLAGE
6471 175A STREET
SURREY, BC

DRAWN BY: RP	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638
SHEET TITLE: ENLARGED ROOM PLANS	
REV. NO.:	SHEET NO.: A3.20



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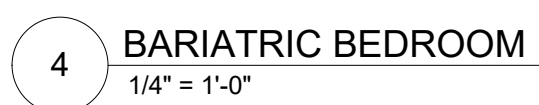
PROJECT: _____

6471 175A STREET
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SHEET TITLE:

**ENLARGED ROOM
PLANS**

REV. NO.: SHEET NO.: **A3.30**



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PROJECT:

**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

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SCALE:

As indicated

PROJECT NO.:

CA638

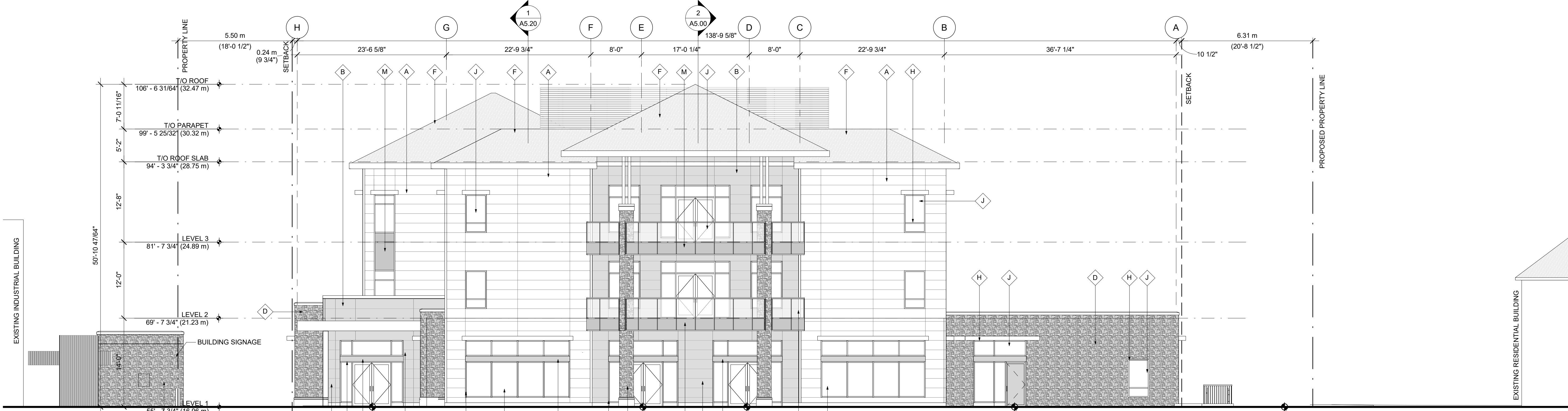
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ELEVATIONS

REV. NO.:

SHEET NO.:

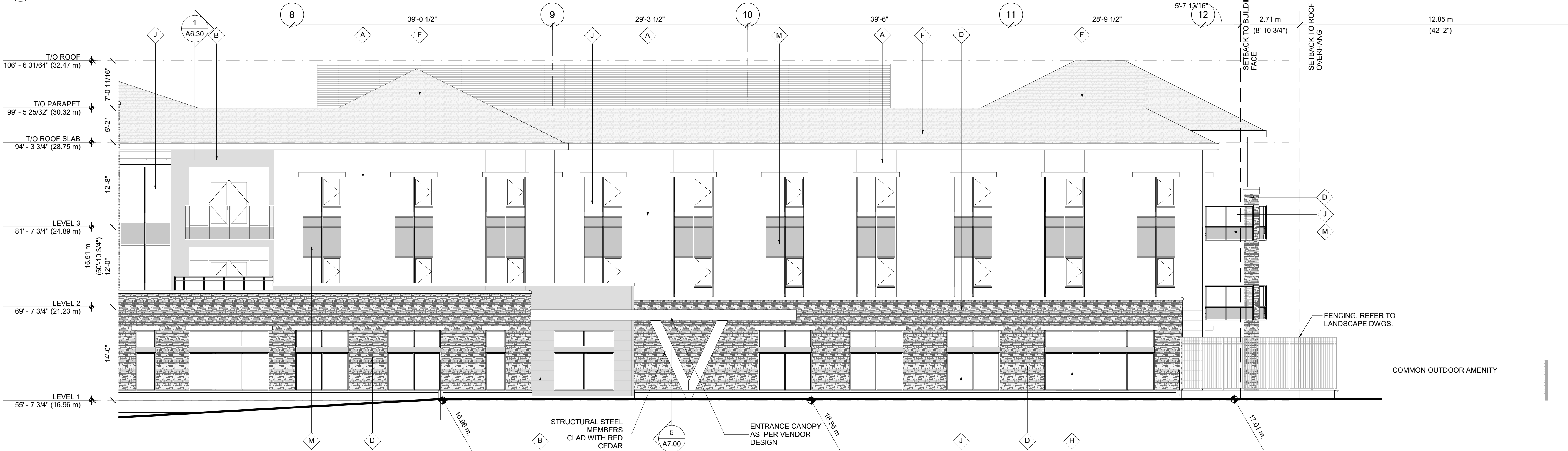
A4.10



1 ELEVATION NORTH
1/8" = 1'-0"



2 ELEVATION EAST 1
1/8" = 1'-0"



3 ELEVATION EAST 2
1/8" = 1'-0"

MATERIAL LEGEND

- | | |
|--|--|
| A CERAMIC COATED CLADDING
CERACLAD
COLOUR: SILK
CONTEMPORARY
SMOOTH | H DOOR & WINDOW FRAMES
ANODISED ALUMINIUM
COLOUR: BLACK |
| B CERAMIC COATED CLADDING
CERACLAD
COLOUR: SAFFRON
CONTEMPORARY SMOOTH | I RAILINGS
ANODISED ALUMINUM
COLOUR: BLACK |
| C CERAMIC COATED CLADDING
CERACLAD
COLOUR: DUSKY GRAY
CONTEMPORARY SMOOTH | J GLAZING
CLEAR GLASS |
| D STONE VENEER
CULTURED STONE
PRO-FIT ALPINE LEDGESTONE
COLOUR: ECHO RIDGE | K SHEET METAL CLADDING
CORRUGATED METAL SHEET
COLOUR: DARK GRAY |
| E CONCRETE
ARCHITECTURAL CONCRETE
COLOUR: SLATE GRAY | L PREFINISHED METAL COMPONENT
EXTRUDED ALUMINIUM
ANODIZED
COLOUR: DARK GRAY |
| F ROOF SHINGLES
ONYX BLACK | M SPANDREL PANEL
GLAZER WITH BACKPAN
COLOUR: CLEAR GLASS WITH
DUSKY GRAY PANEL |
| G HEAVY TIMBER BRACKETS POSTS & BEAMS | |

MATCHLINE



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PROJECT:

**GURU NANAK
DIVERSITY
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6471 175A STREET
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PROJECT NO.:

CA638

SHEET TITLE:

ELEVATIONS

REV. NO.:

SHEET NO.:

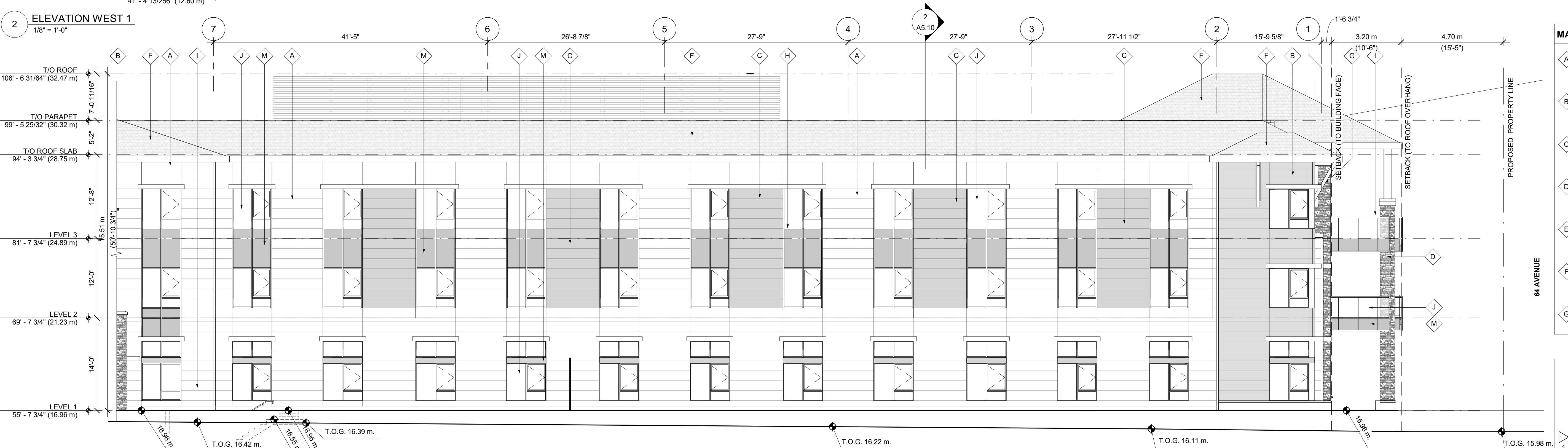
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1 ELEVATION SOUTH
1/8" = 1'-0"



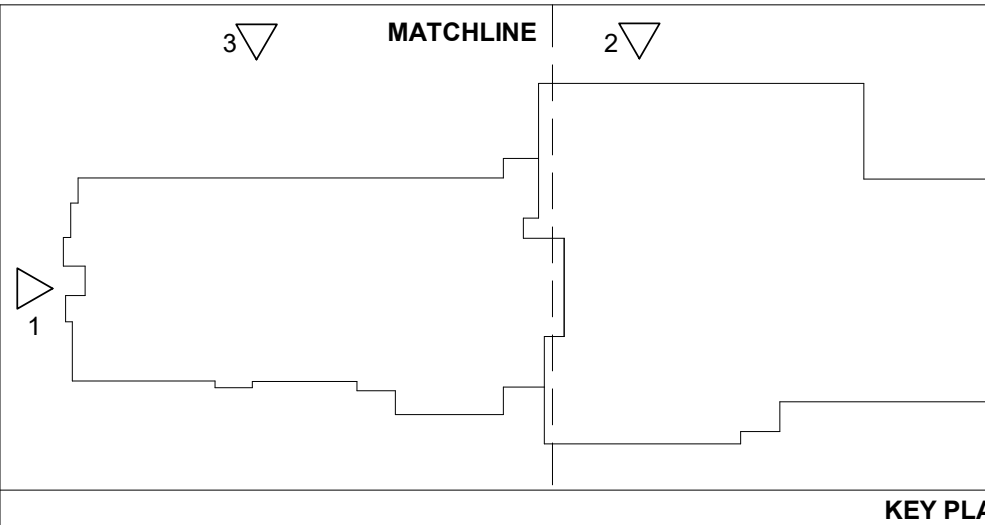
2 ELEVATION WEST 1
1/8" = 1'-0"



3 ELEVATION WEST 2
1/8" = 1'-0"

MATERIAL LEGEND

- | | |
|--|--|
| A CERAMIC COATED CLADDING
CERACLAD
COLOUR: SILK
CONTEMPORARY
SMOOTH | H DOOR & WINDOW FRAMES
ANODISED ALUMINIUM
COLOUR: BLACK |
| B CERAMIC COATED CLADDING
CERACLAD
COLOUR: SAFFRON
CONTEMPORARY SMOOTH | I RAILINGS
ANODISED ALUMINUM
COLOUR: BLACK |
| C CERAMIC COATED CLADDING
CERACLAD
COLOUR: DUSKY GRAY
CONTEMPORARY SMOOTH | J GLAZING
CLEAR GLASS |
| D STONE VENEER
CULTURED STONE
PRO-FIT ALPINE LEDGESTONE
COLOUR: ECHO RIDGE | K SHEET METAL CLADDING
CORRUGATED METAL SHEET
COLOUR: DARK GRAY |
| E CONCRETE
ARCHITECTURAL CONCRETE
COLOUR: SLATE GRAY | L PREFINISHED METAL COMPONENT
EXTRUDED ALUMINIUM
ANODIZED
COLOUR: DARK GRAY |
| F ROOF SHINGLES
ONYX BLACK | M SPANDREL PANEL
GLAZED WITH BACKPAN
COLOUR: CLEAR GLASS WITH
DUSKY GRAY PANEL |
| G HEAVY TIMBER BRACKETS POSTS & BEAMS | |



KEY PLAN

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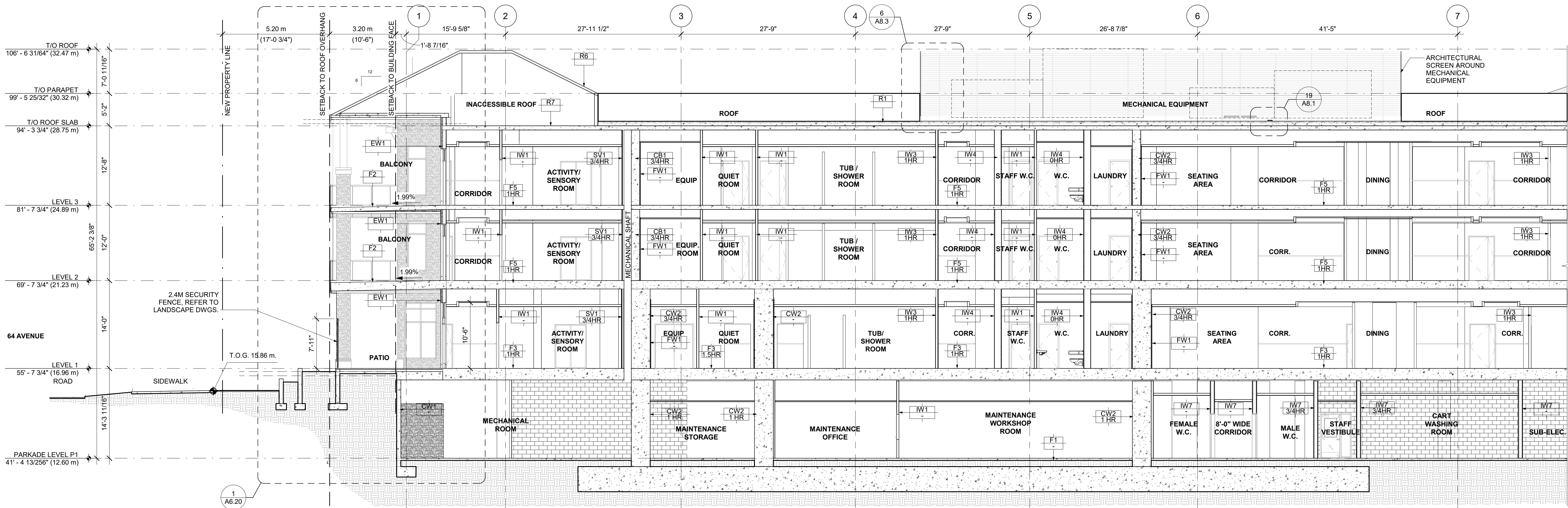
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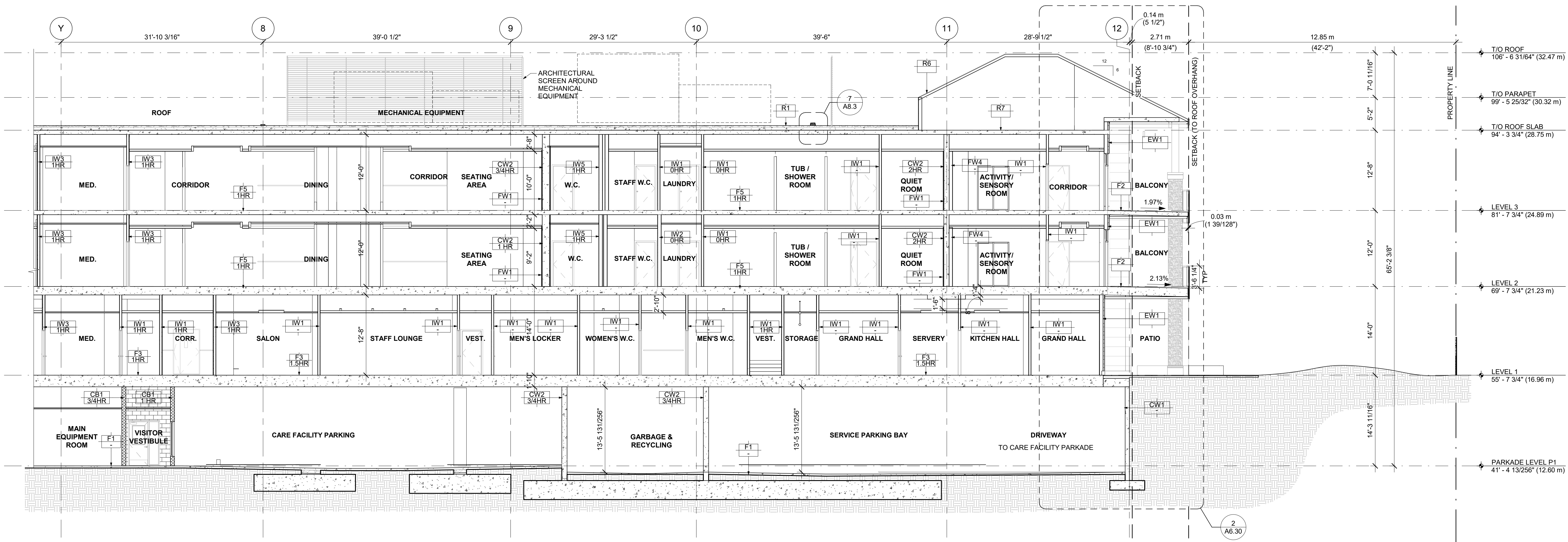
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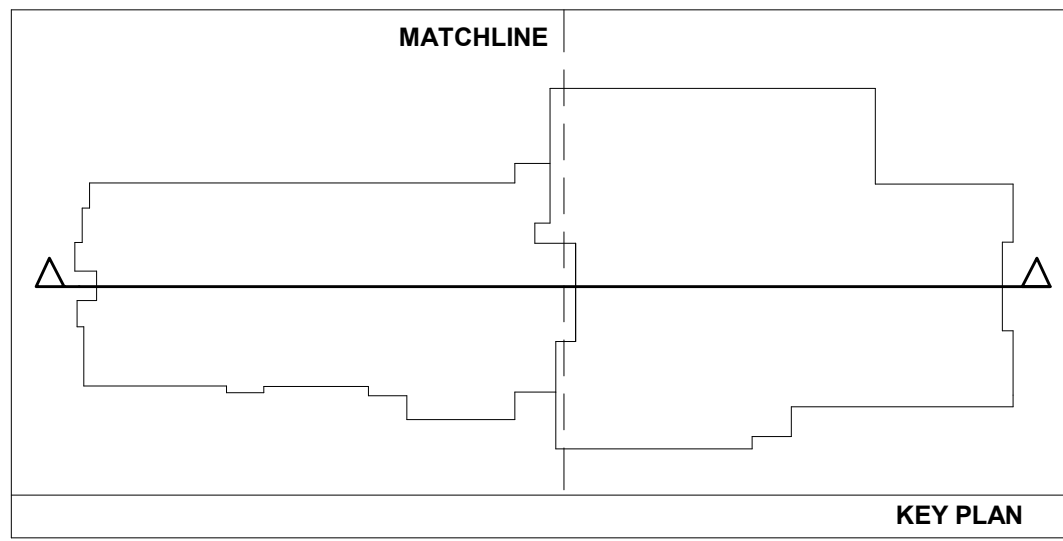
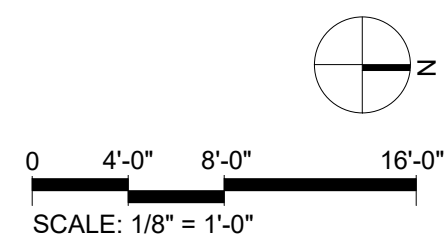
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1 PARTIAL SECTION - SOUTH
1/8" = 1'-0"



2 PARTIAL SECTION - NORTH
1/8" = 1'-0"



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PICS DIVERSITY VILLAGE
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PROJECT:

**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

DRAWN BY:

RP

CHECKED BY:

RC

SCALE:

1/8" = 1'-0"

PROJECT NO.:

CA638

SHEET TITLE:

BUILDING SECTION

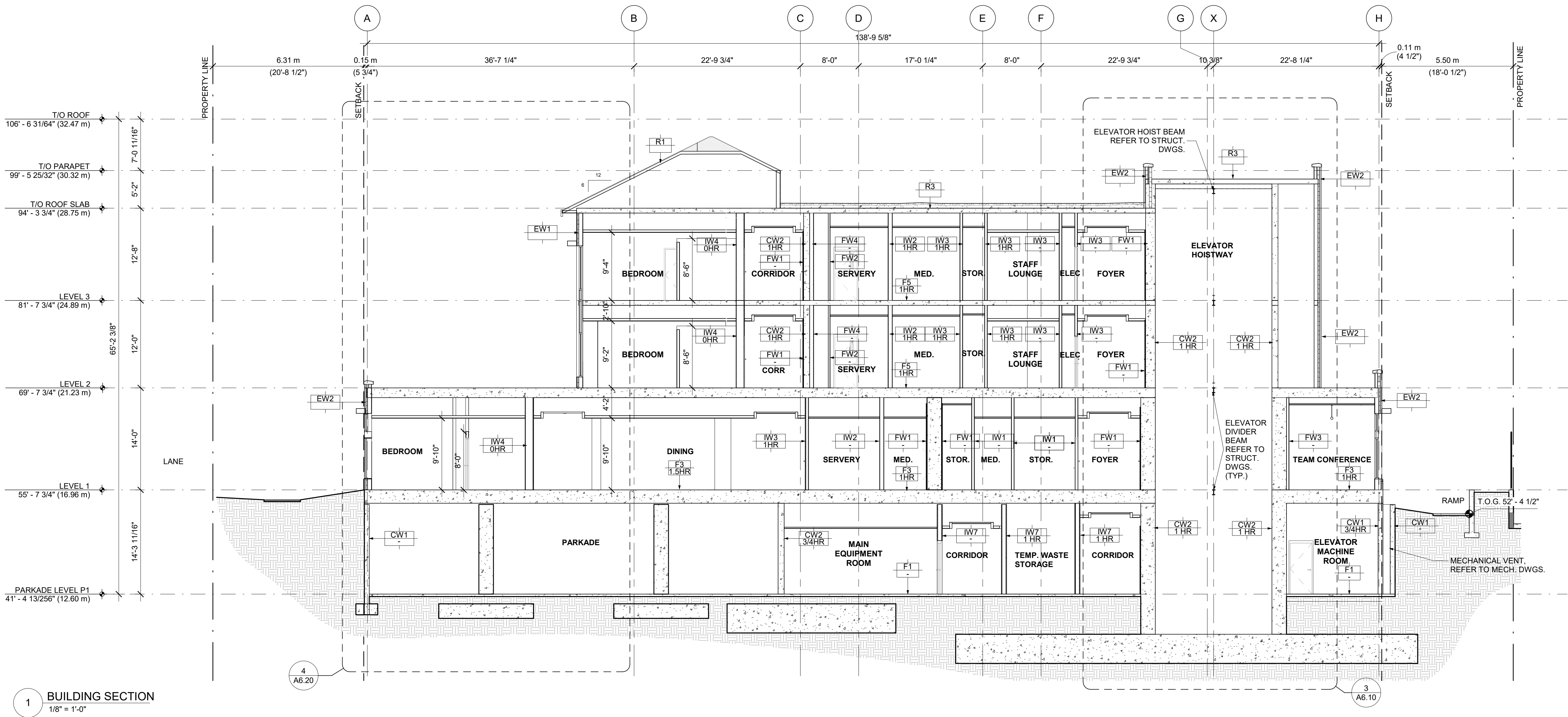
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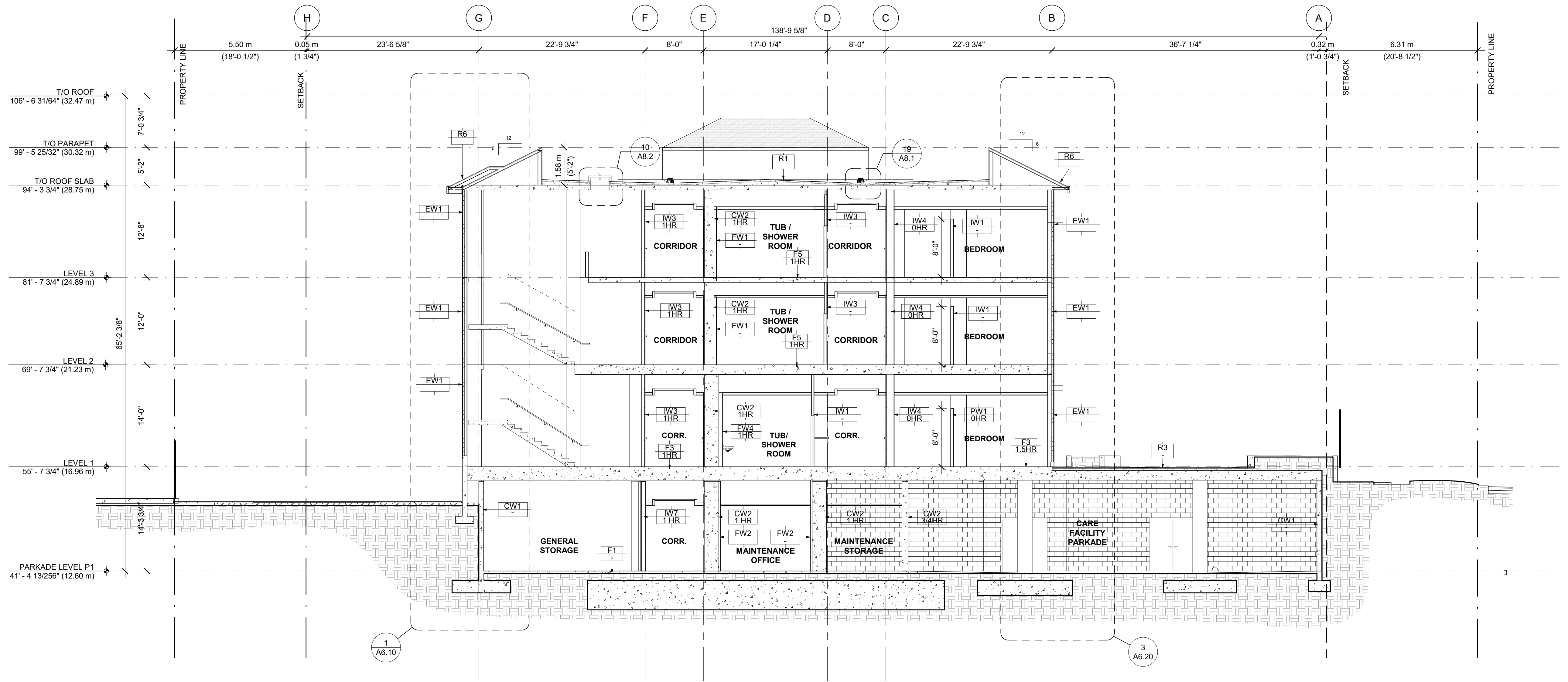
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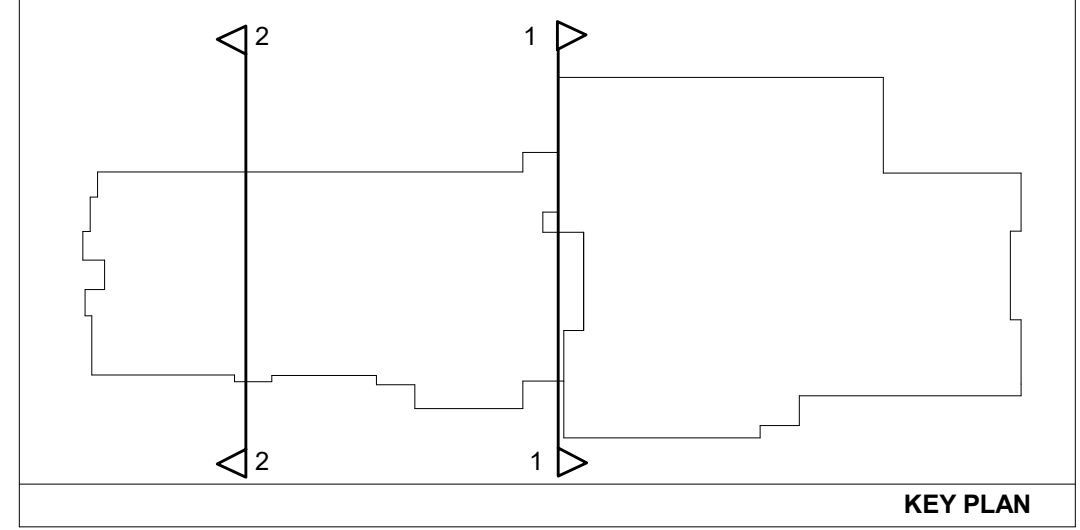
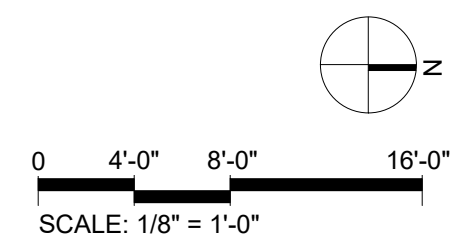
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1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



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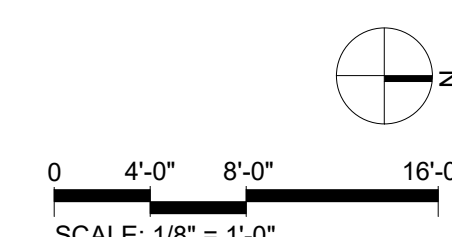


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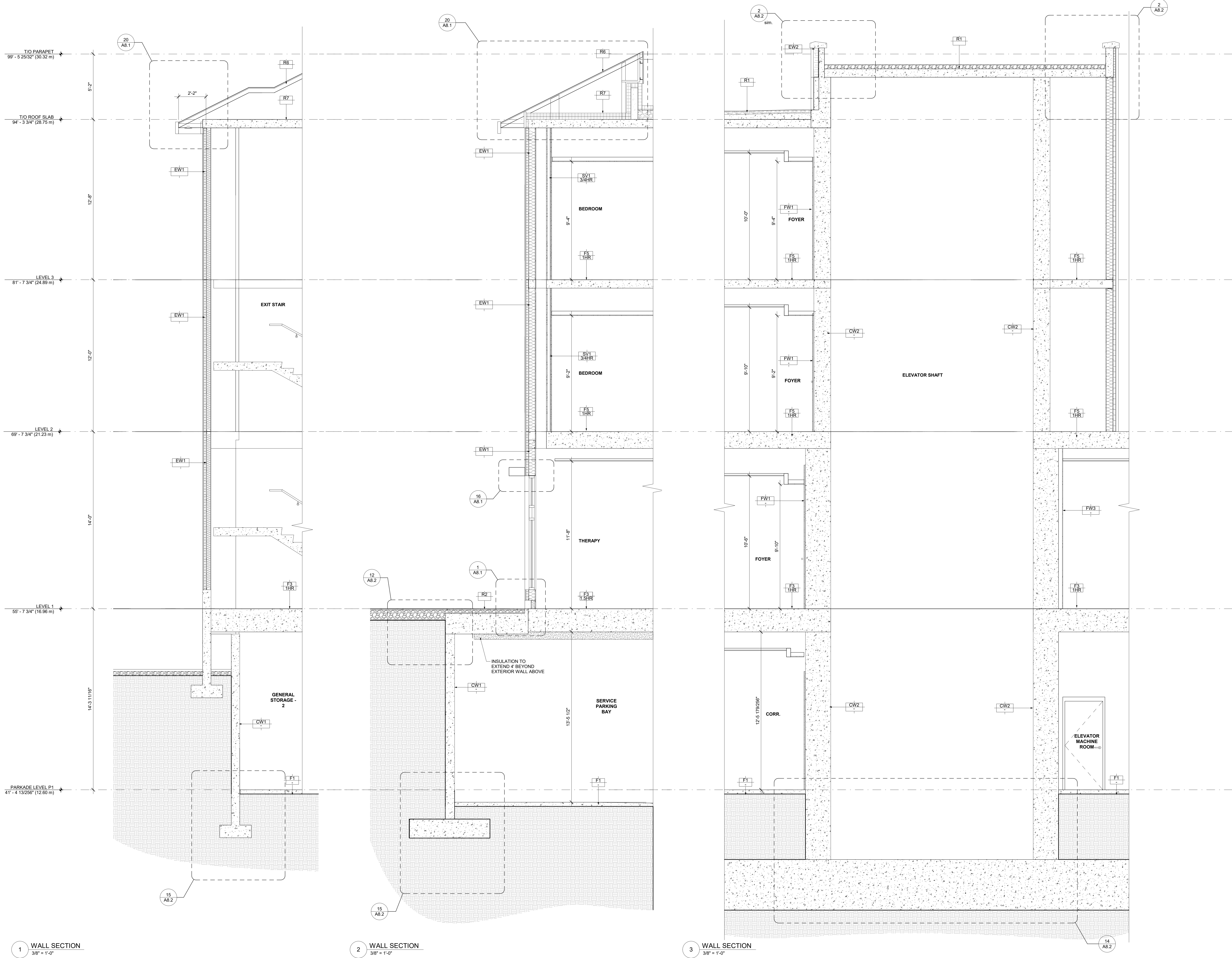
GURU NANAK DIVERSITY VILLAGE

6471 175A STREET
SURREY, BC

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SCALE: 1/8" = 1'-0"	PROJECT NO.: CA638
SHEET TITLE: BUILDING SECTION	
REV. NO.:	SHEET NO.: A5.10

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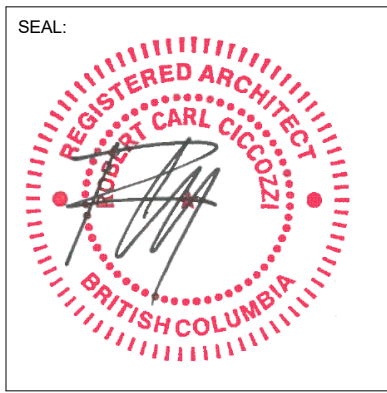
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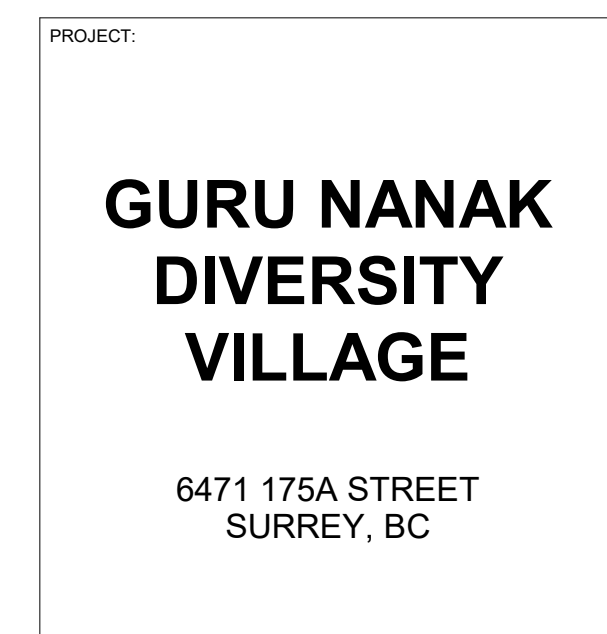
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SHEET TITLE:
WALL SECTIONS

REV. NO.:
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A6.10

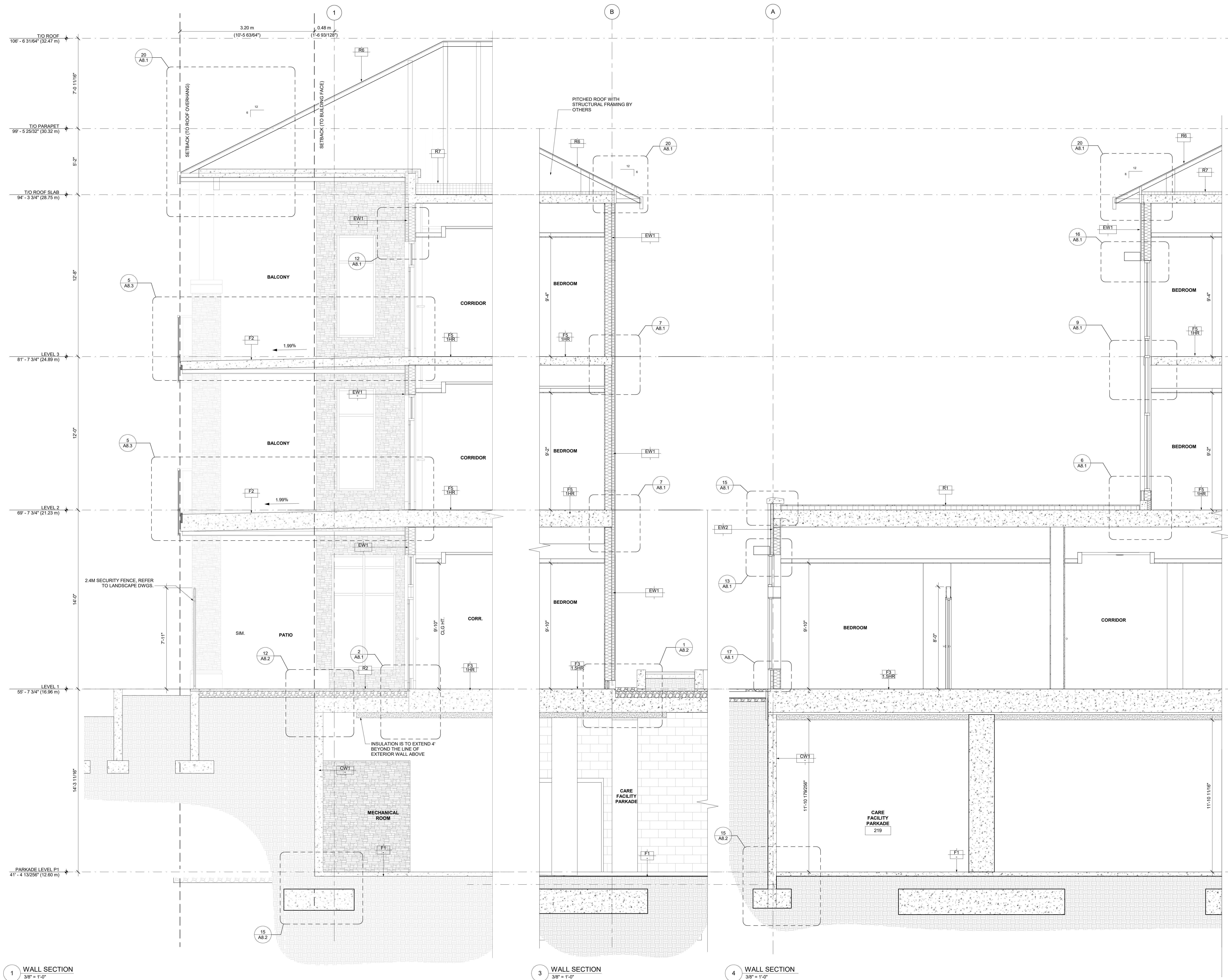
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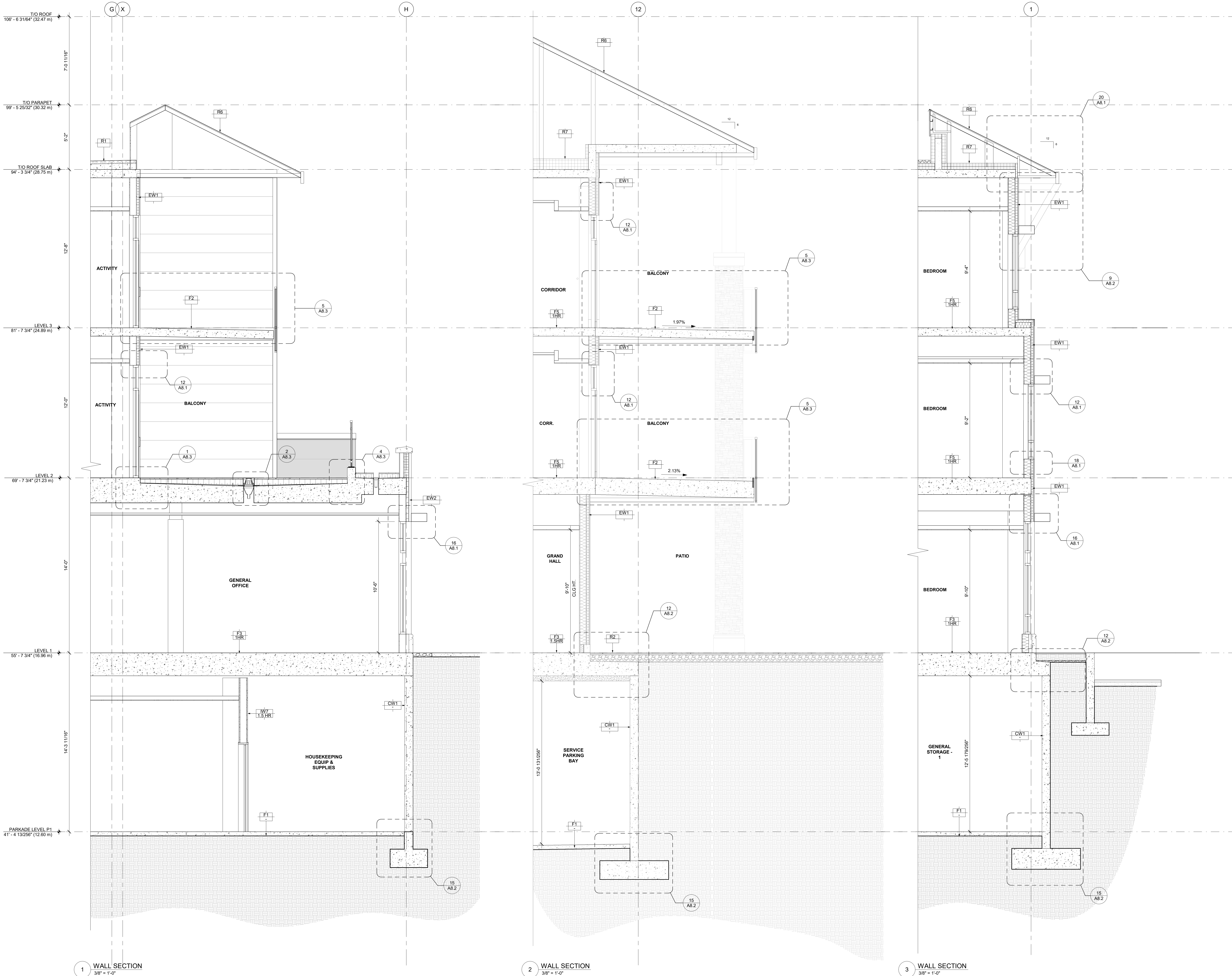
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WALL SECTIONS

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SHEET TITLE: WALL SECTION	
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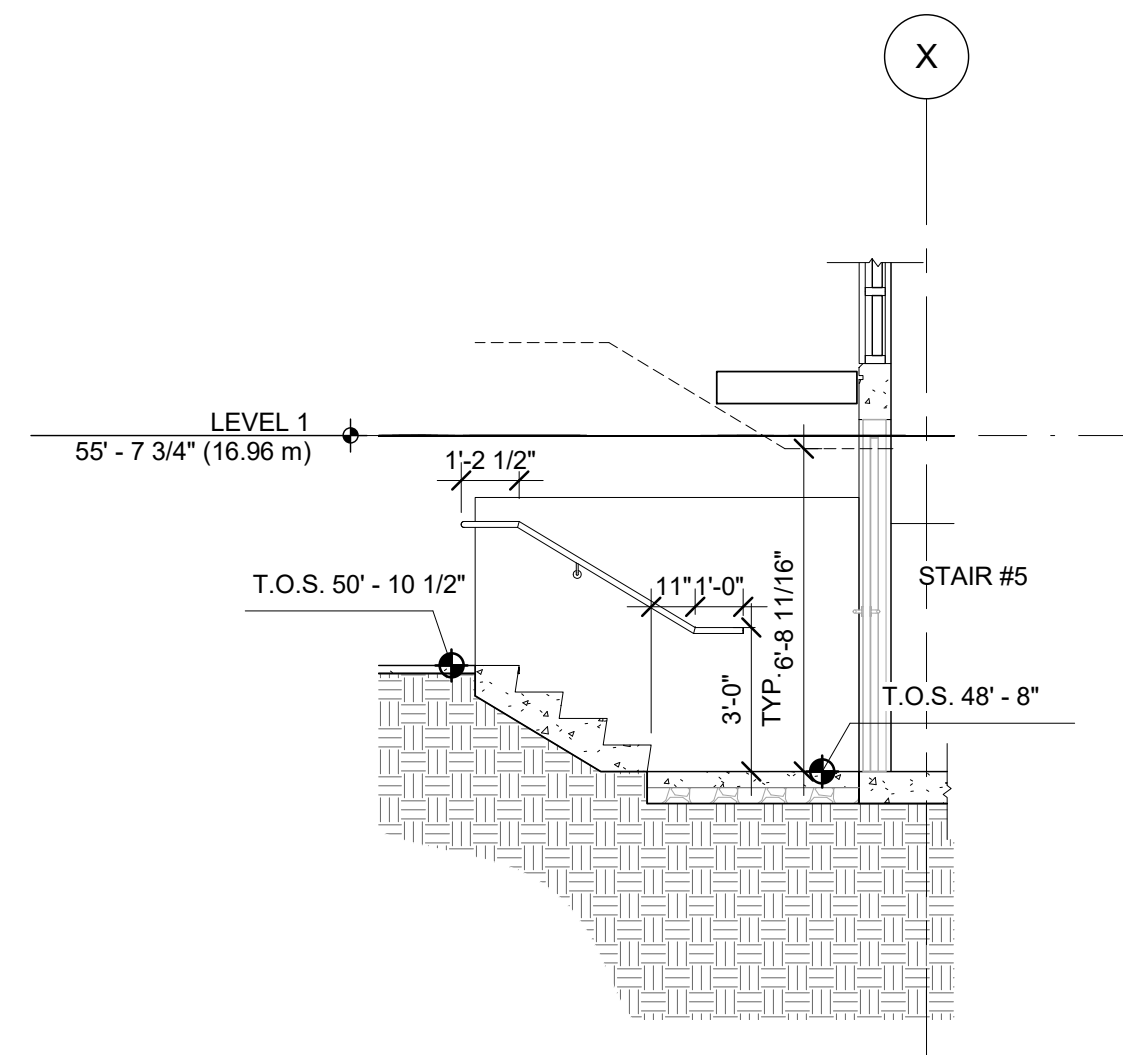
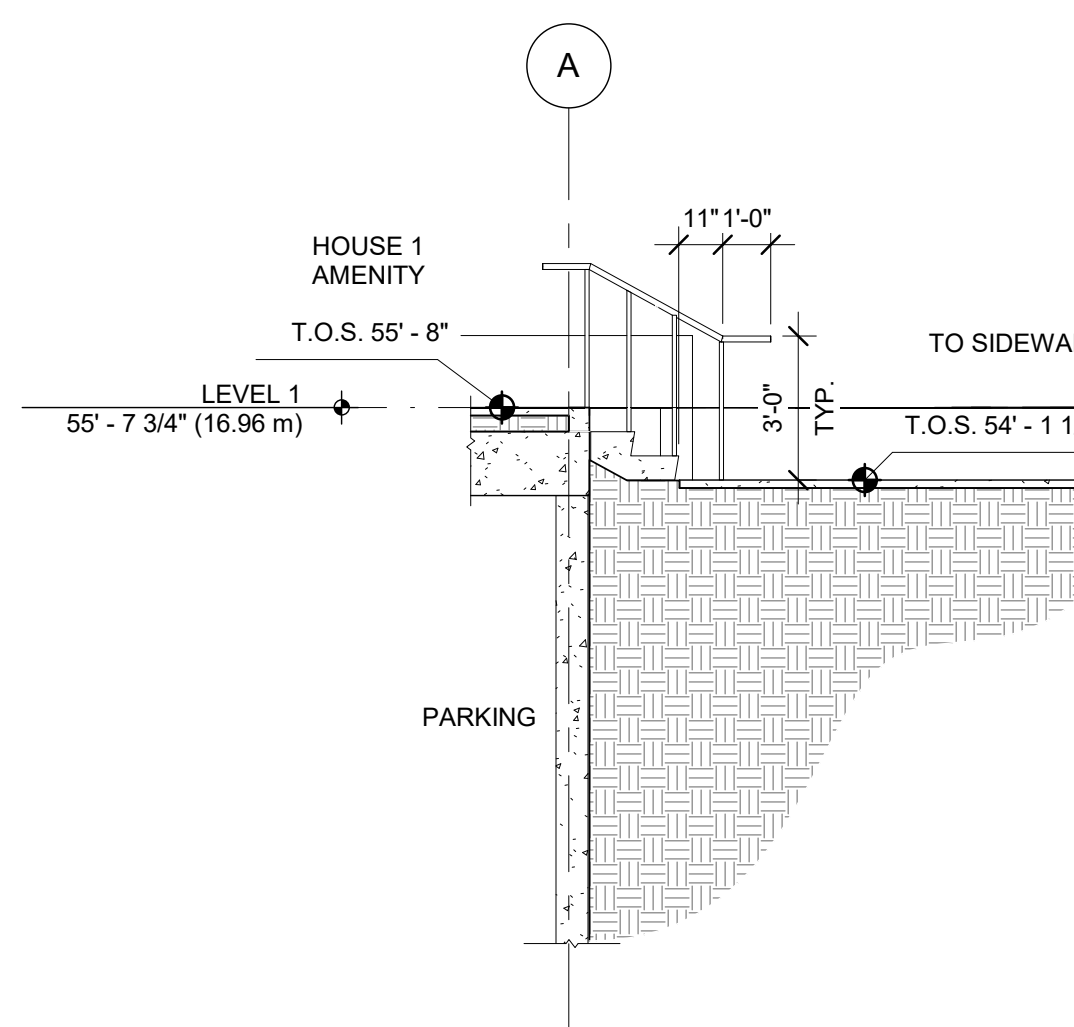
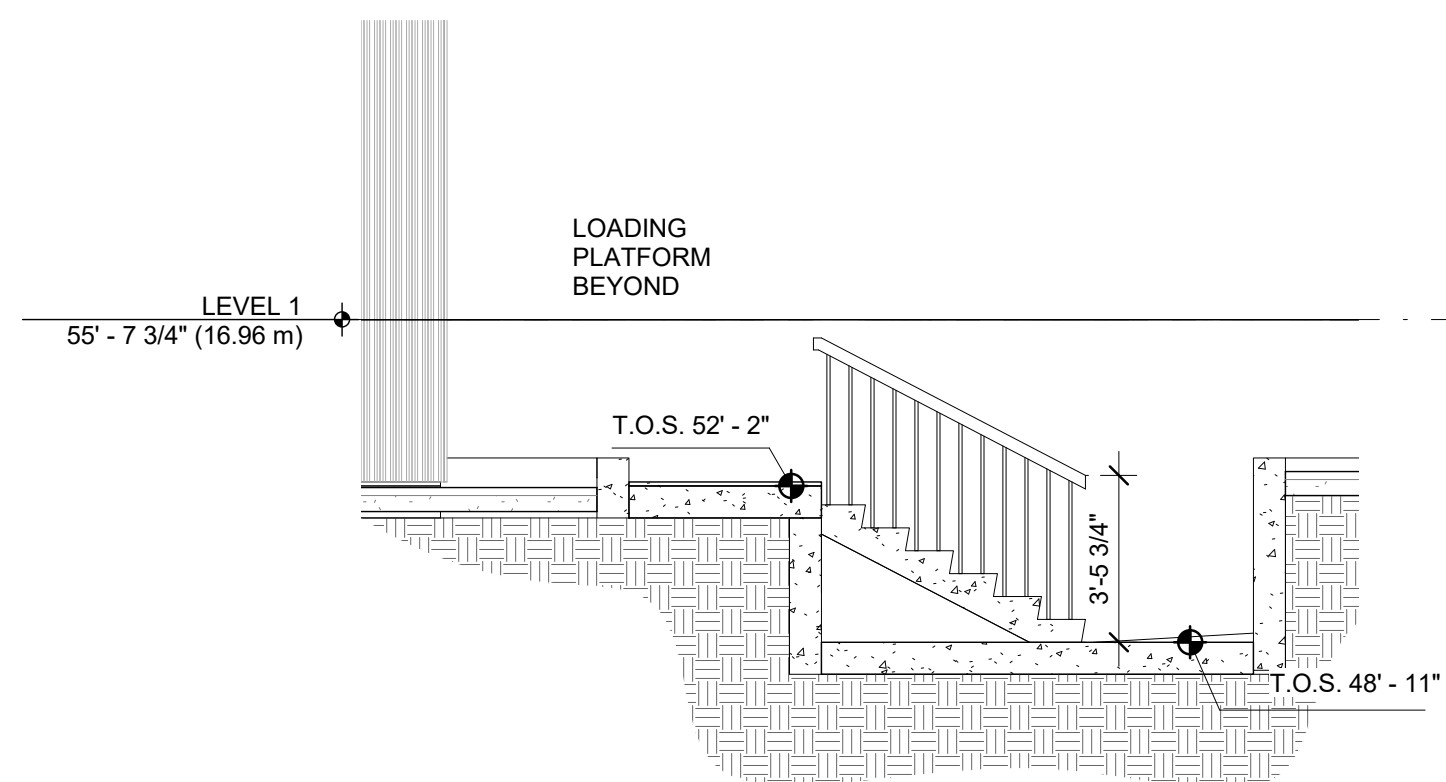
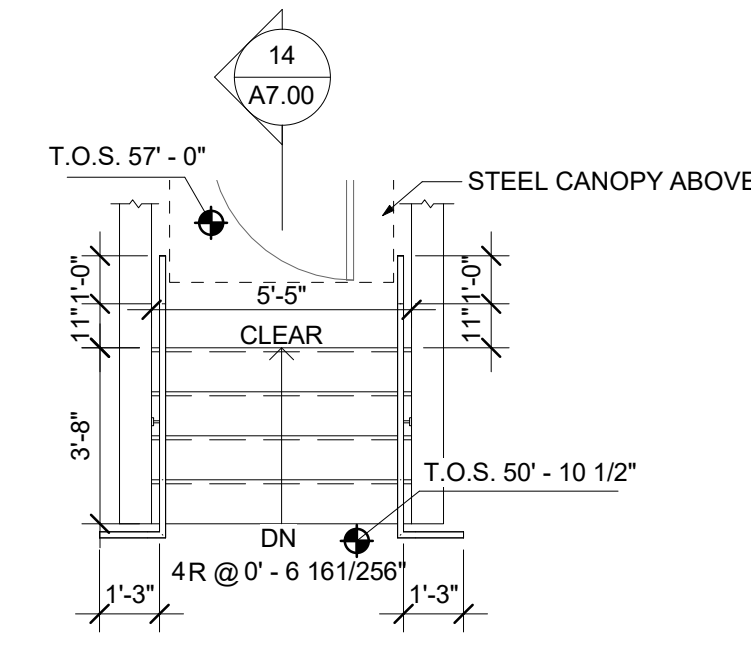
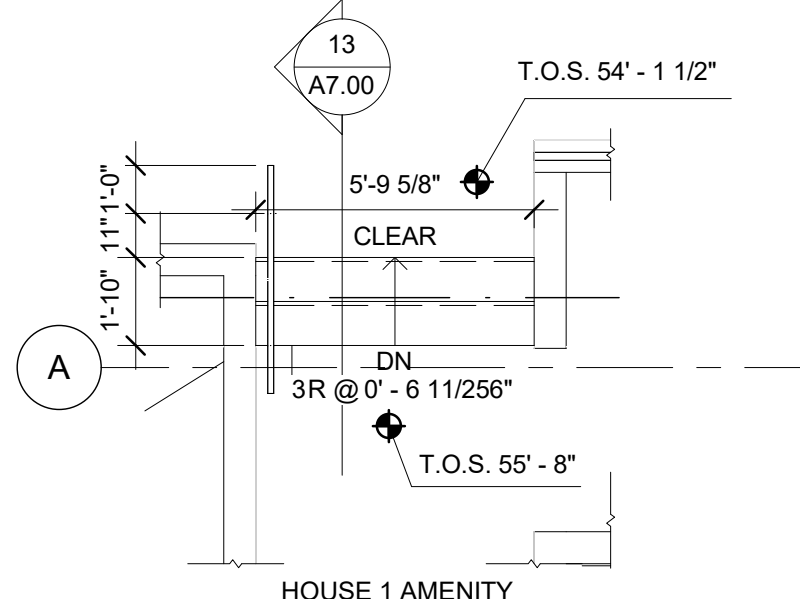
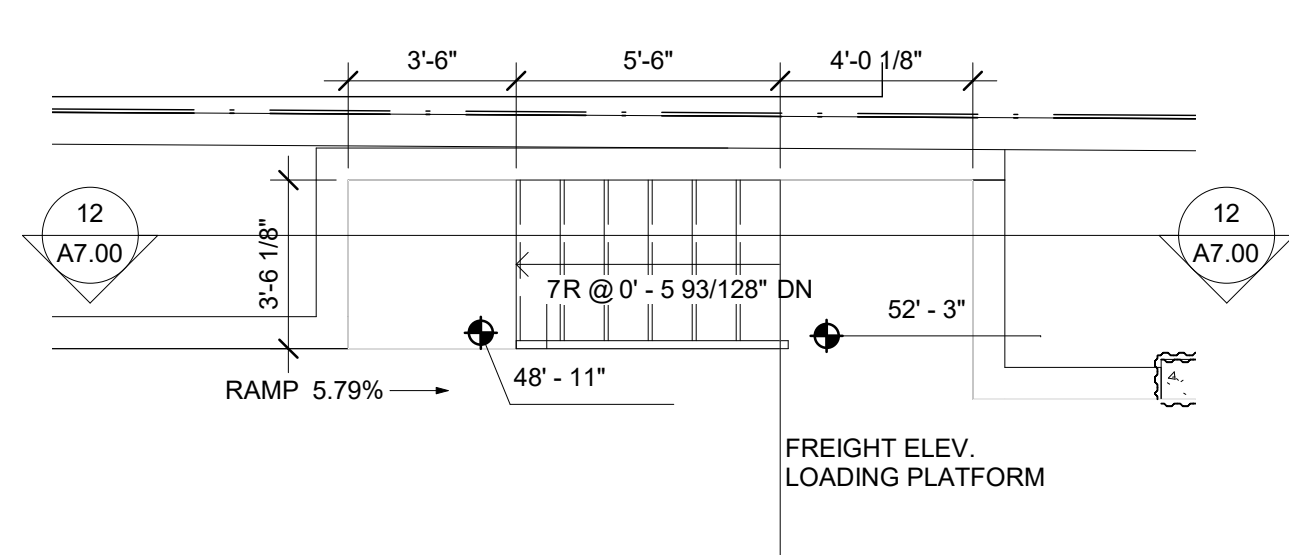
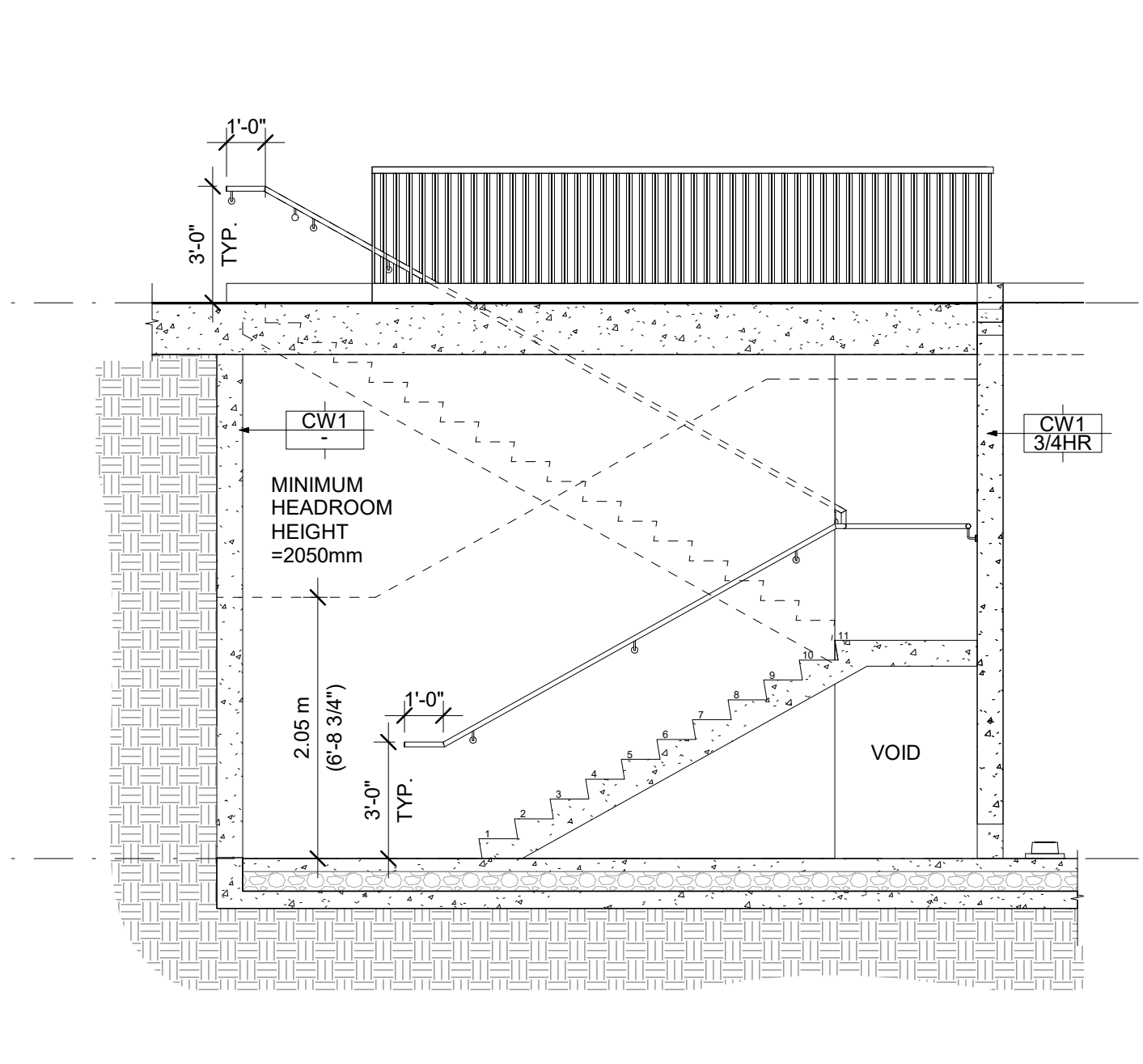
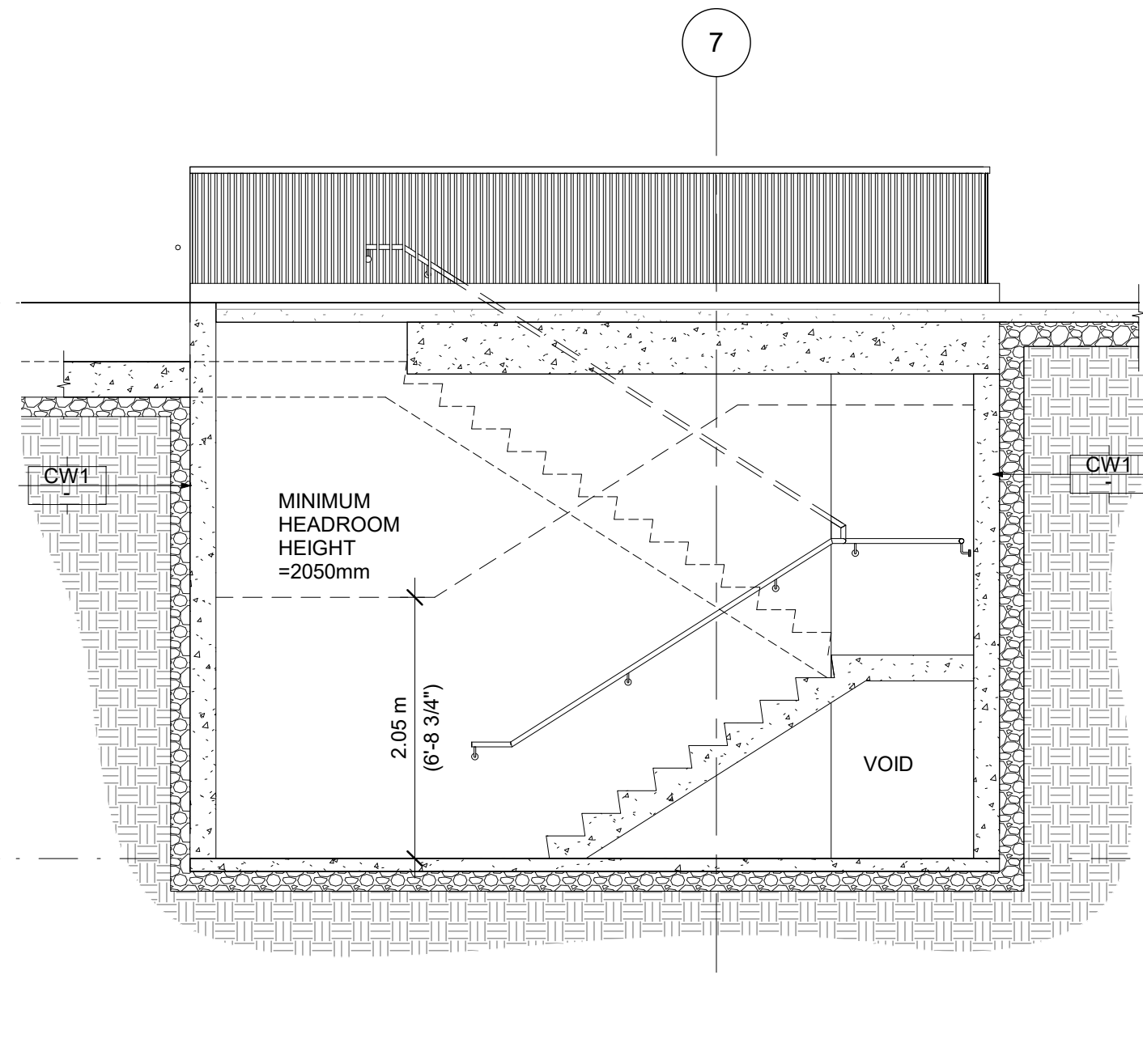
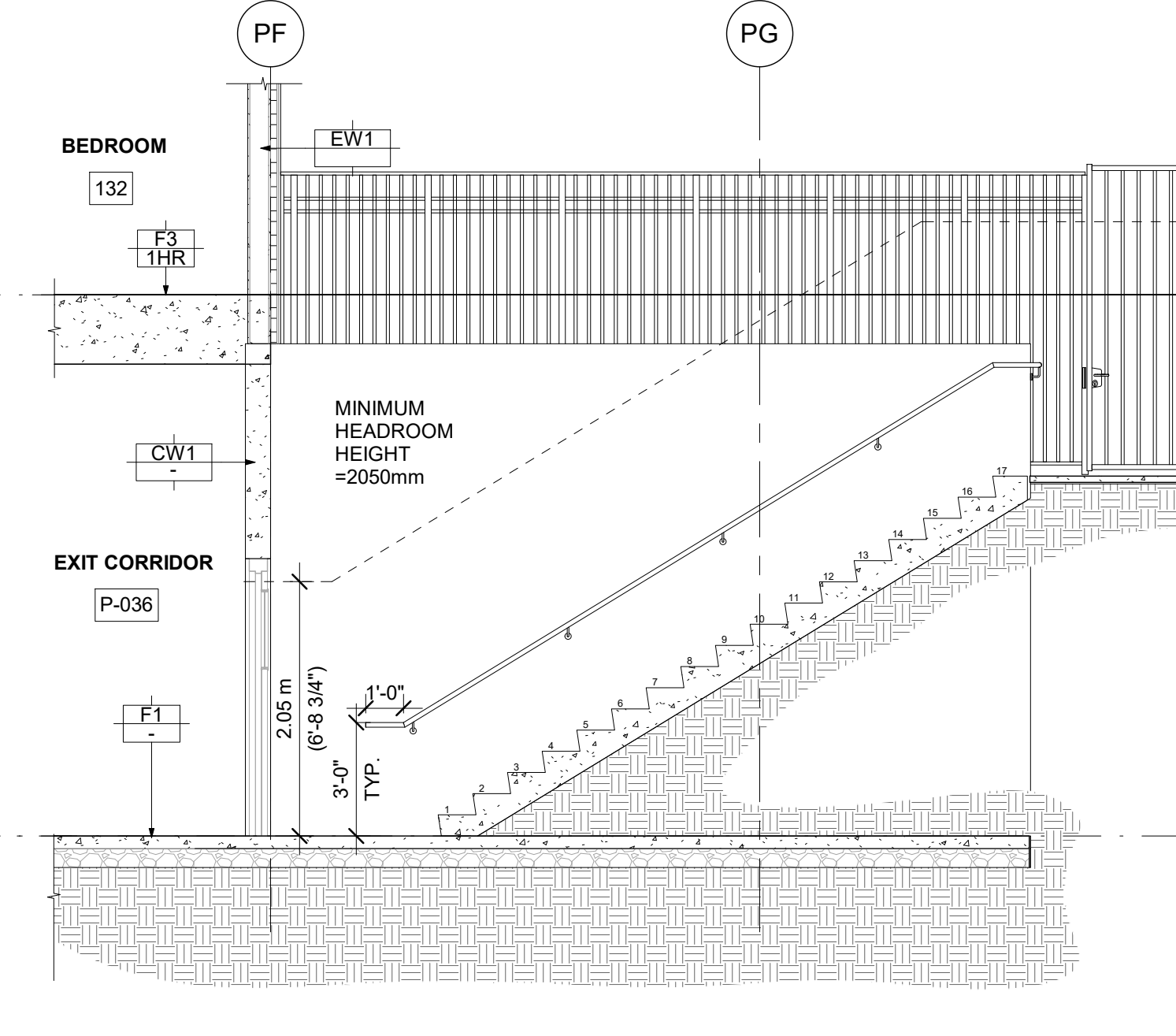
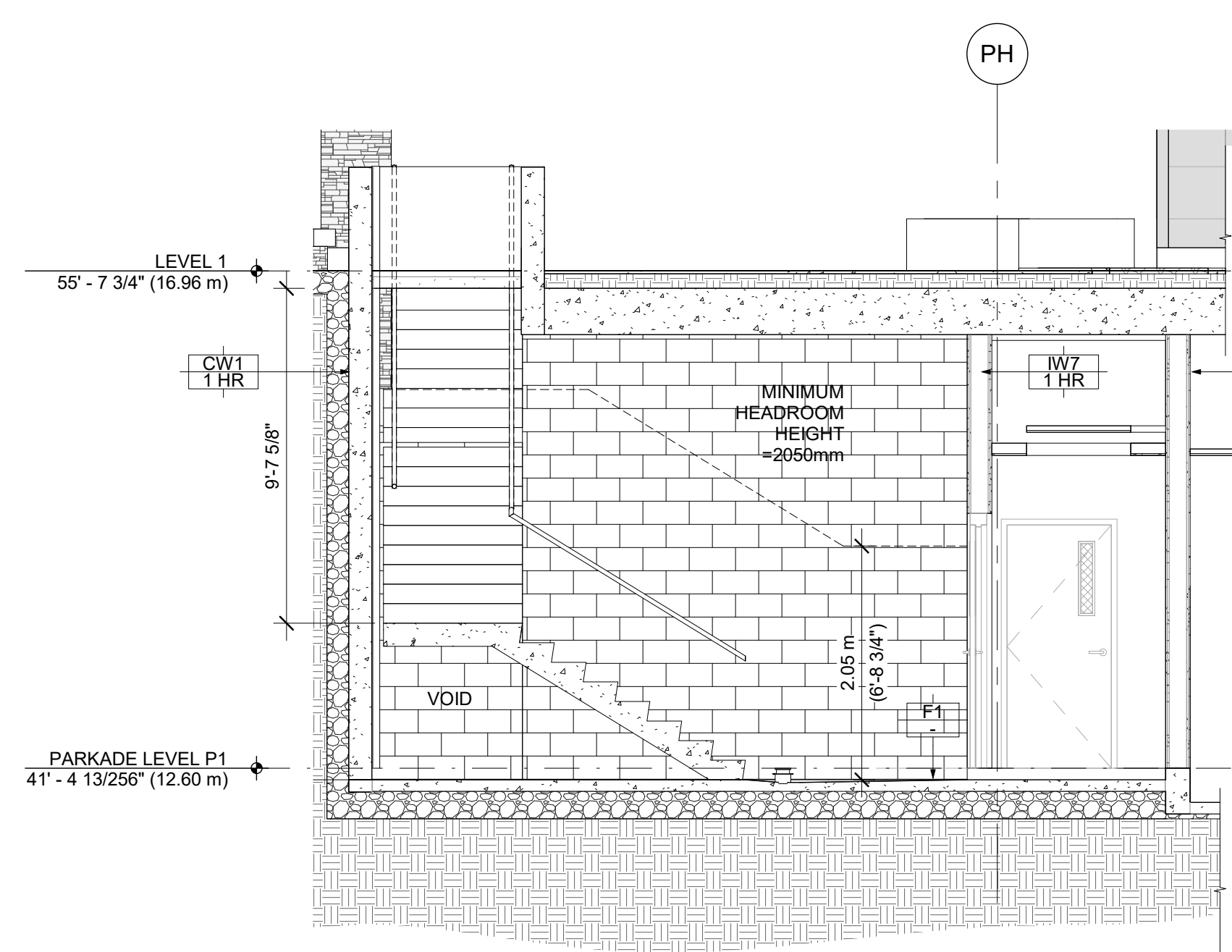
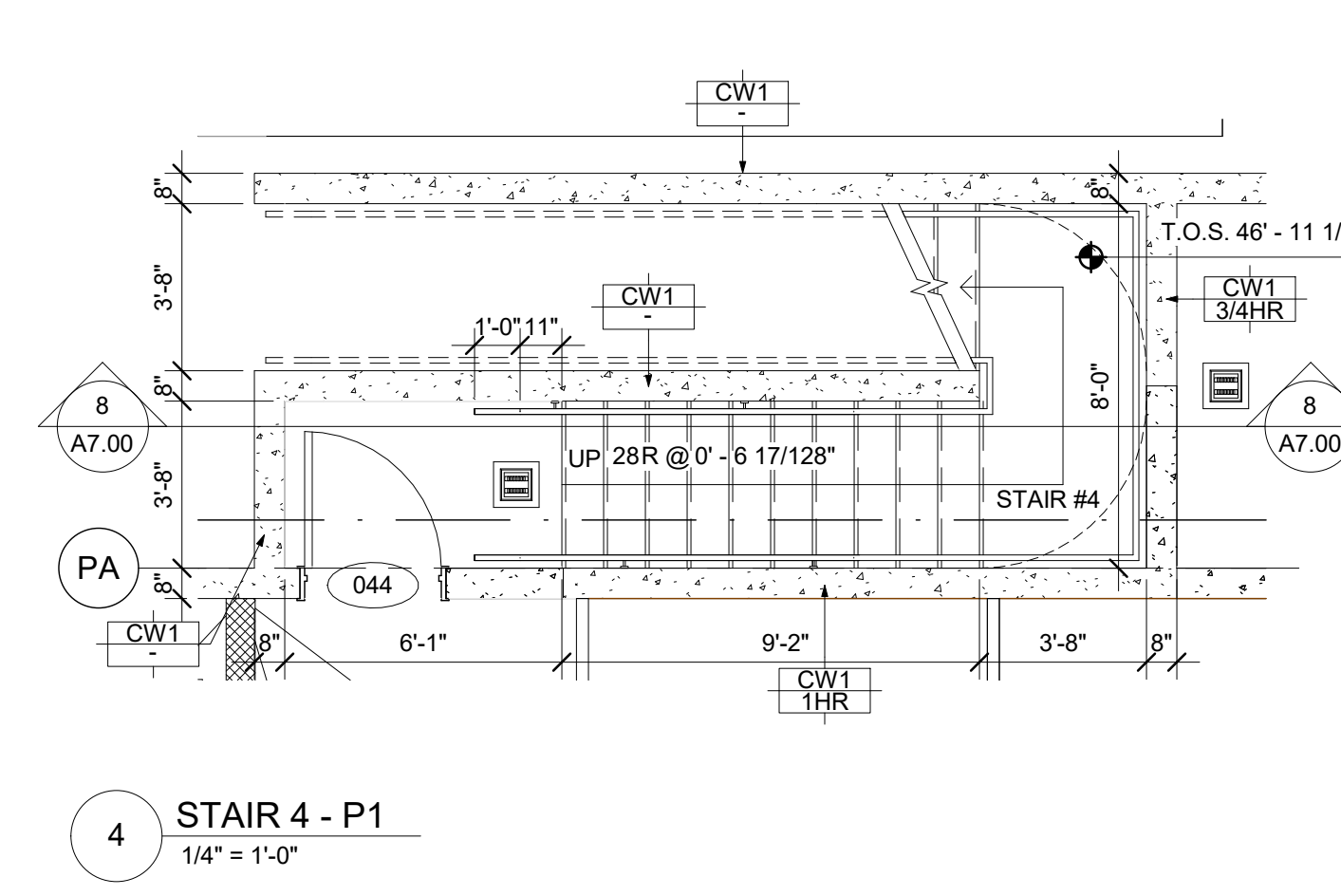
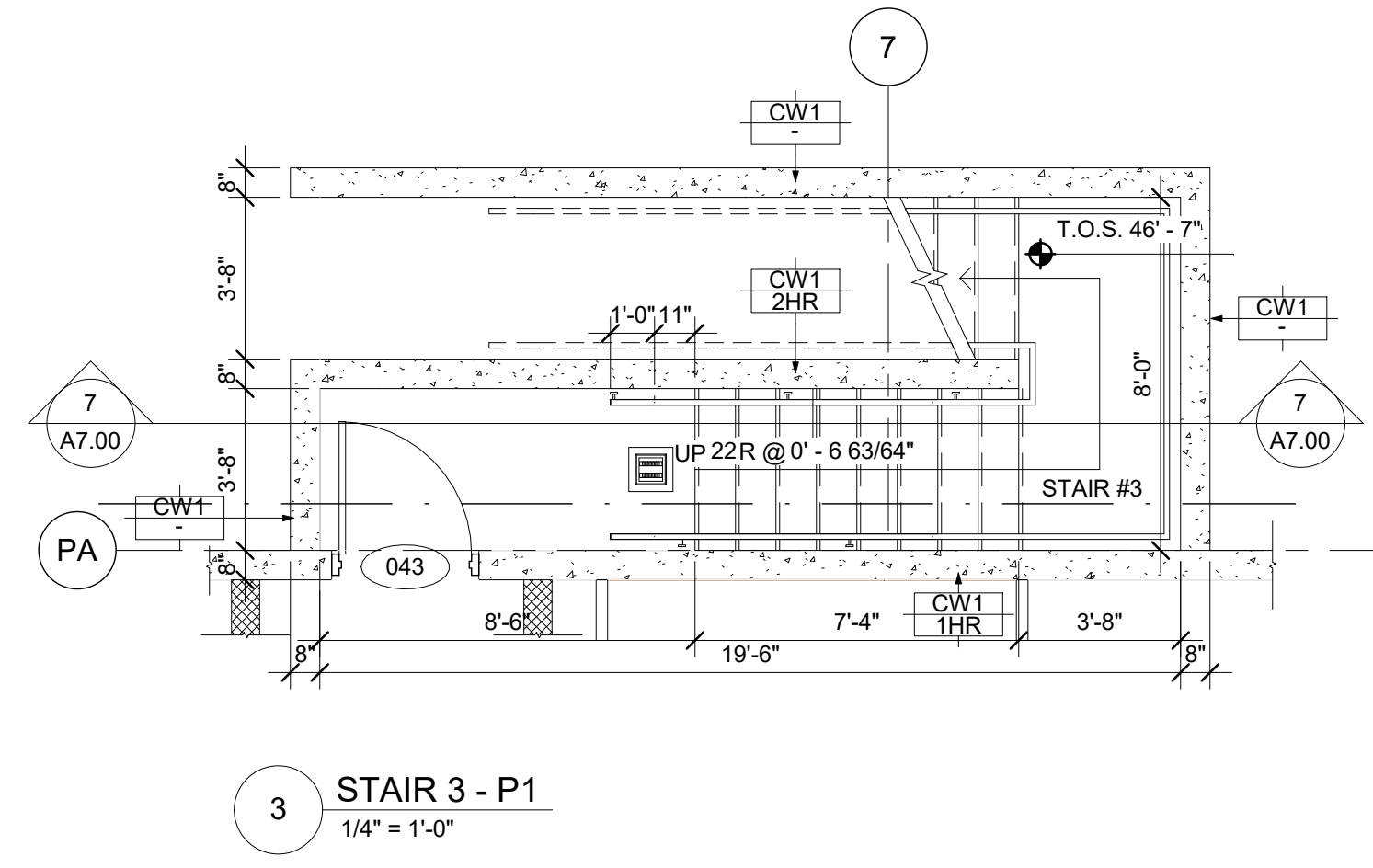
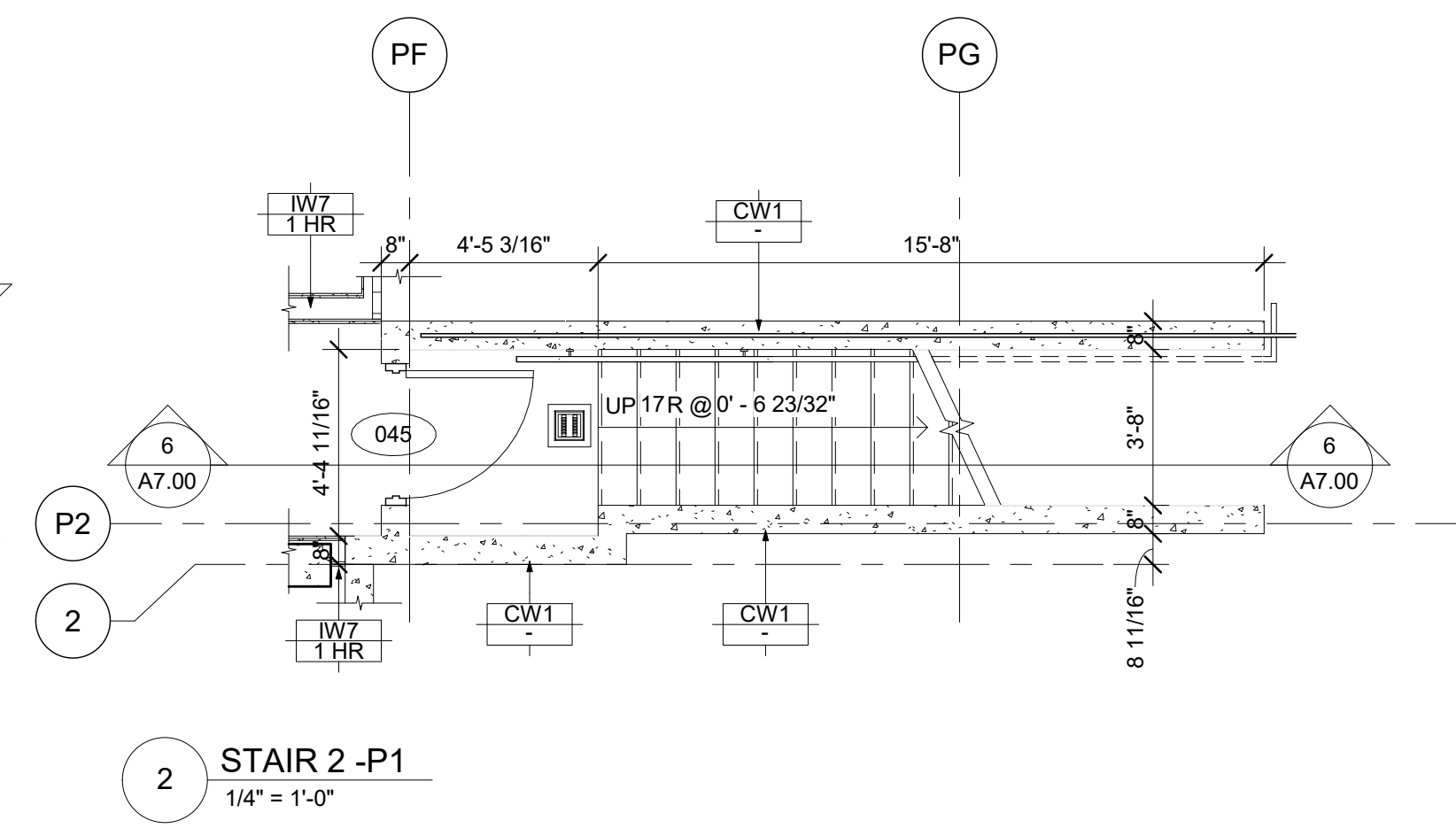
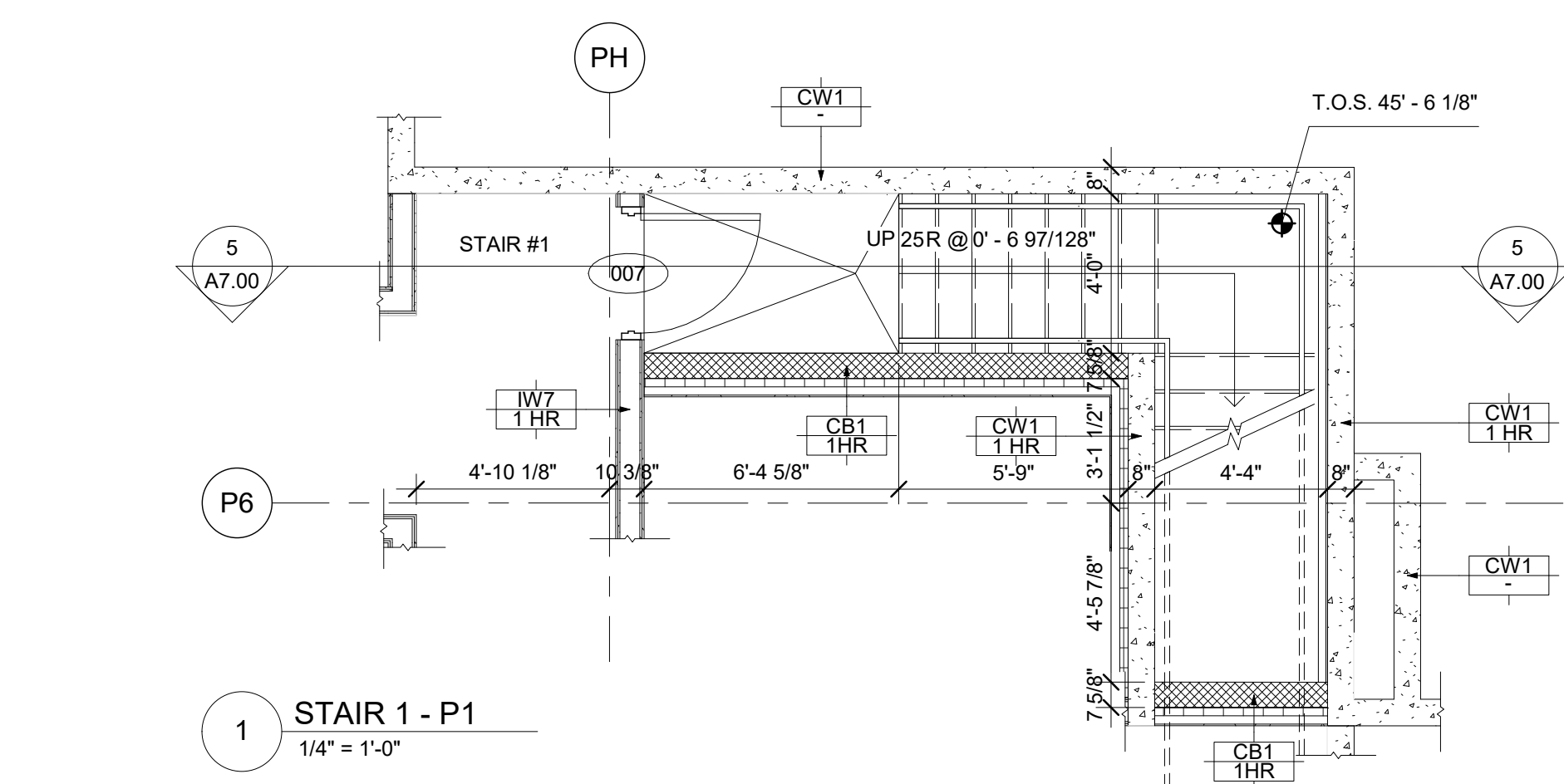
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VILLAGE

6471 175A STREET
SURREY, BC

DRAWN BY: SK/RP
SCALE: 1/4" = 1'-0"
CHECKED BY: RC
PROJECT NO.: CA638

SHEET TITLE:
PARKADE STAIR
PLANS AND
SECTIONS

REV. NO.:
SHEET NO.:
A7.00

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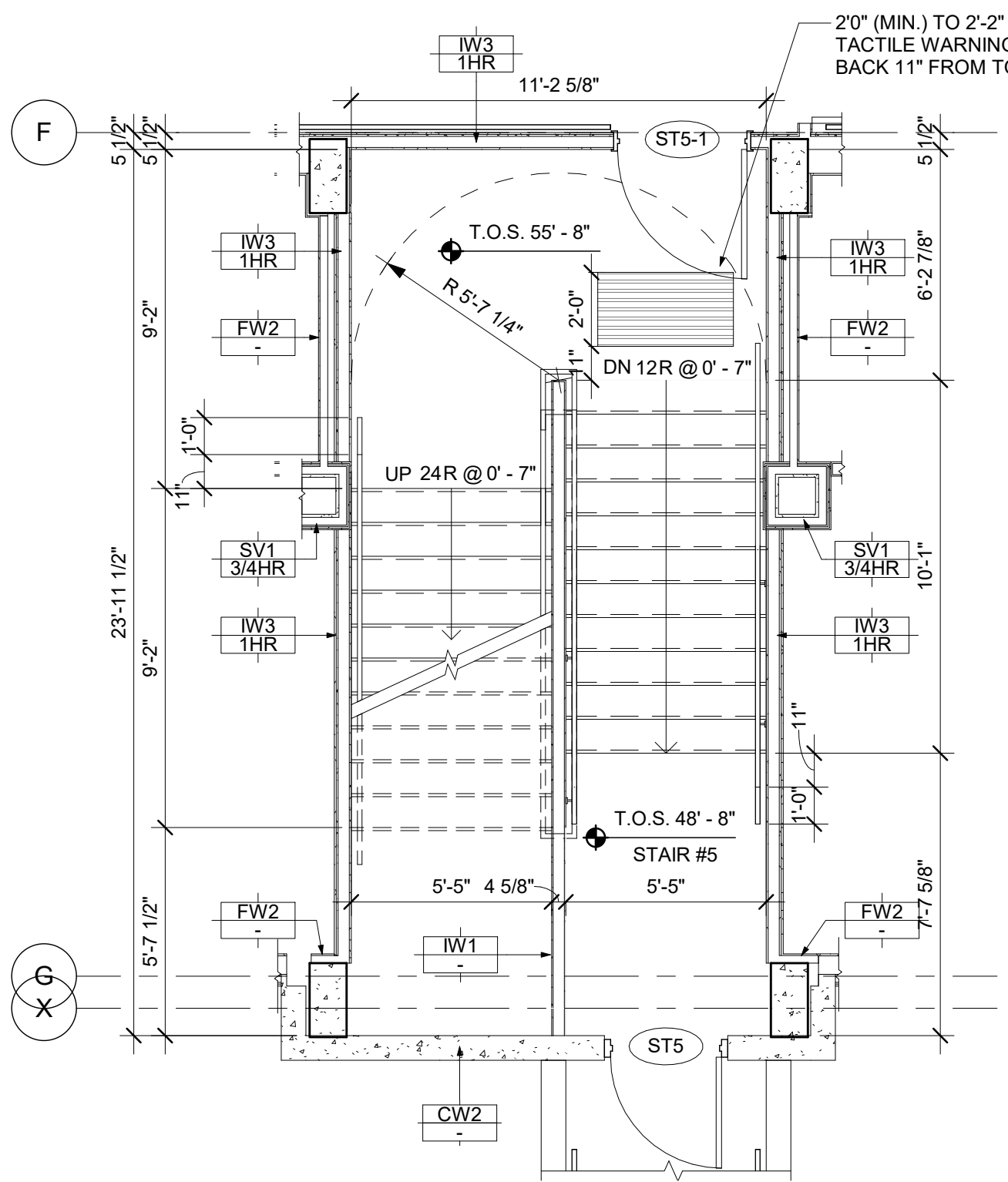


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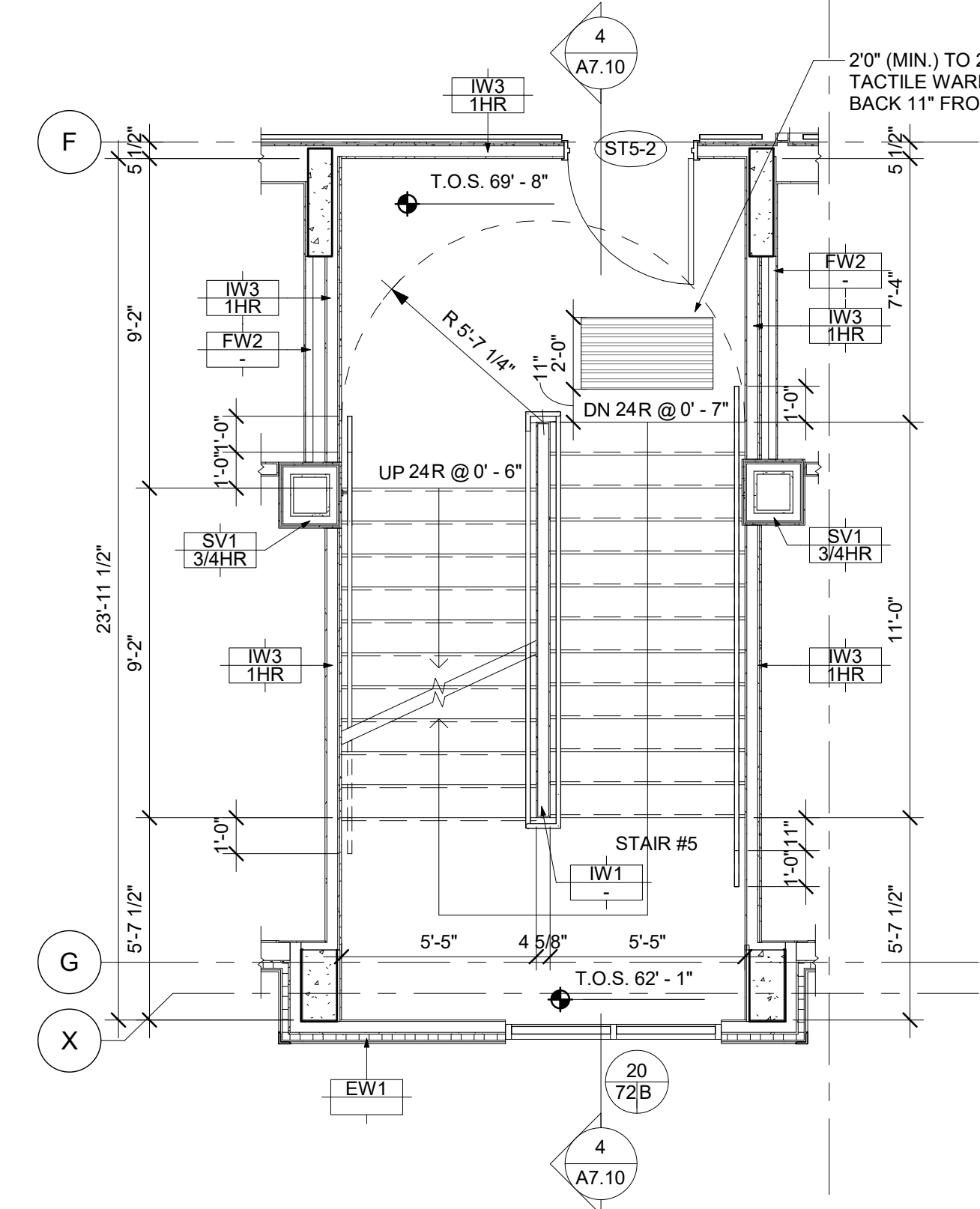
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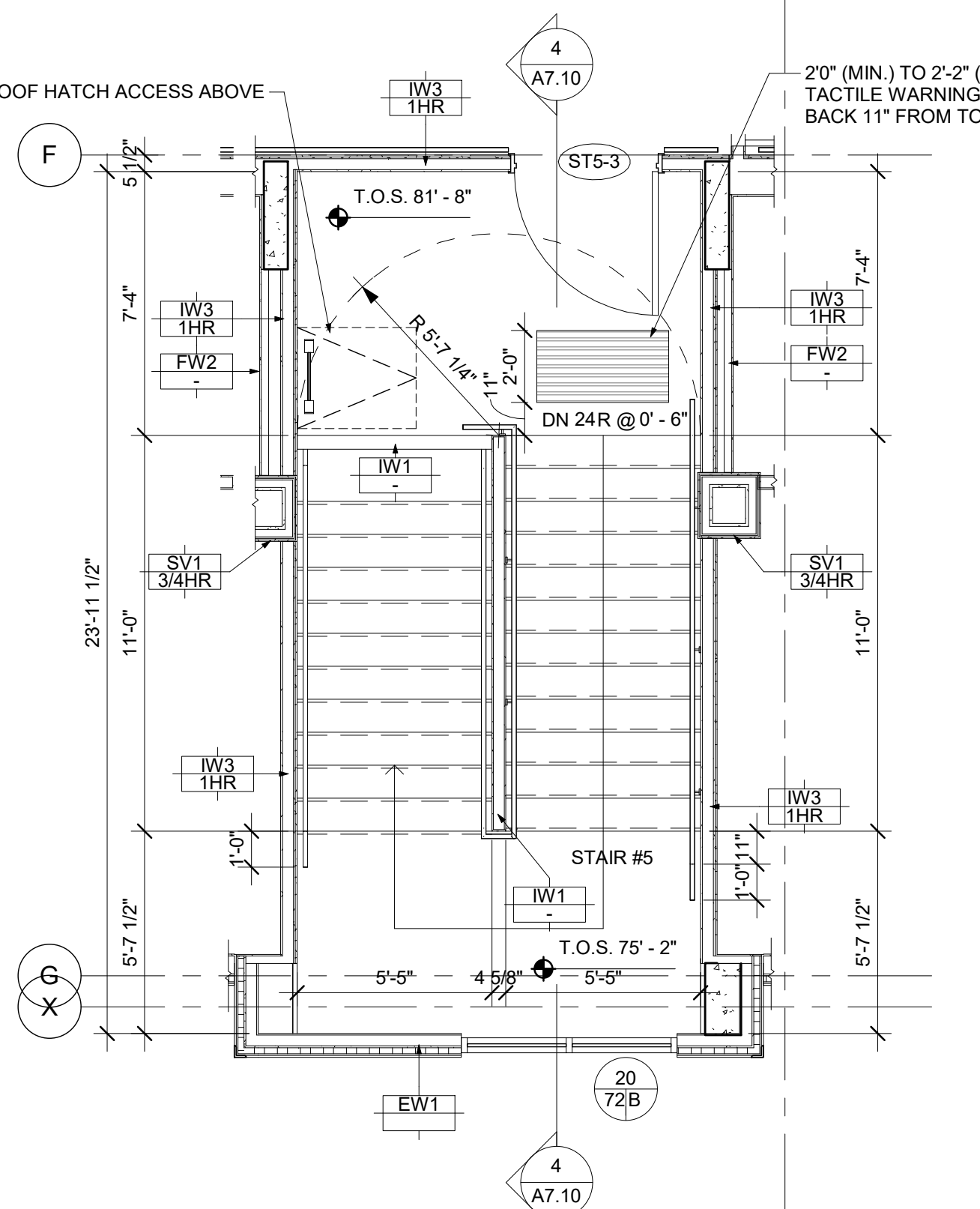
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REV. NO.:	SHEET NO.: A7.10



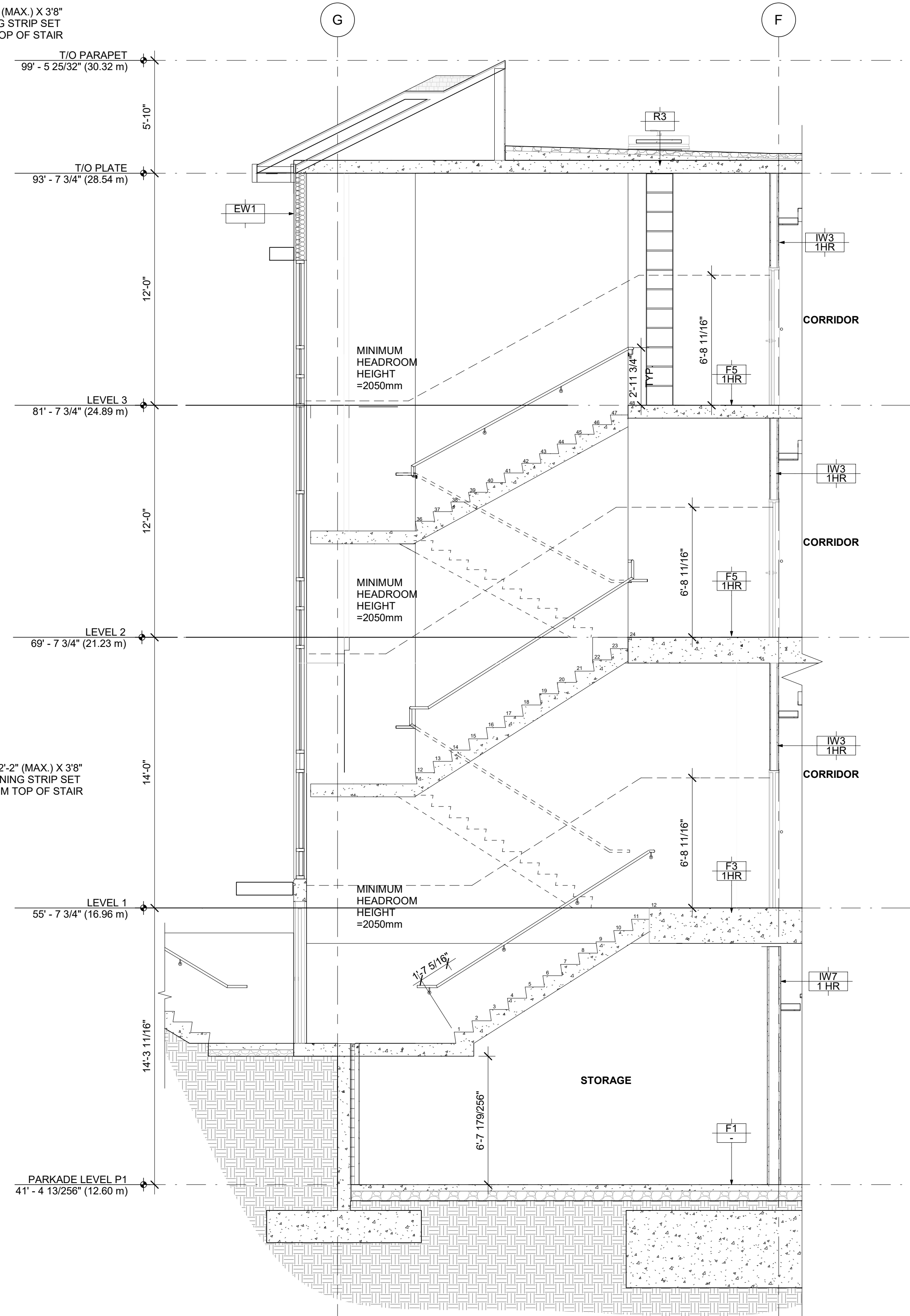
1 STAIR 5 - LEVEL 1
1/4" = 1'-0"



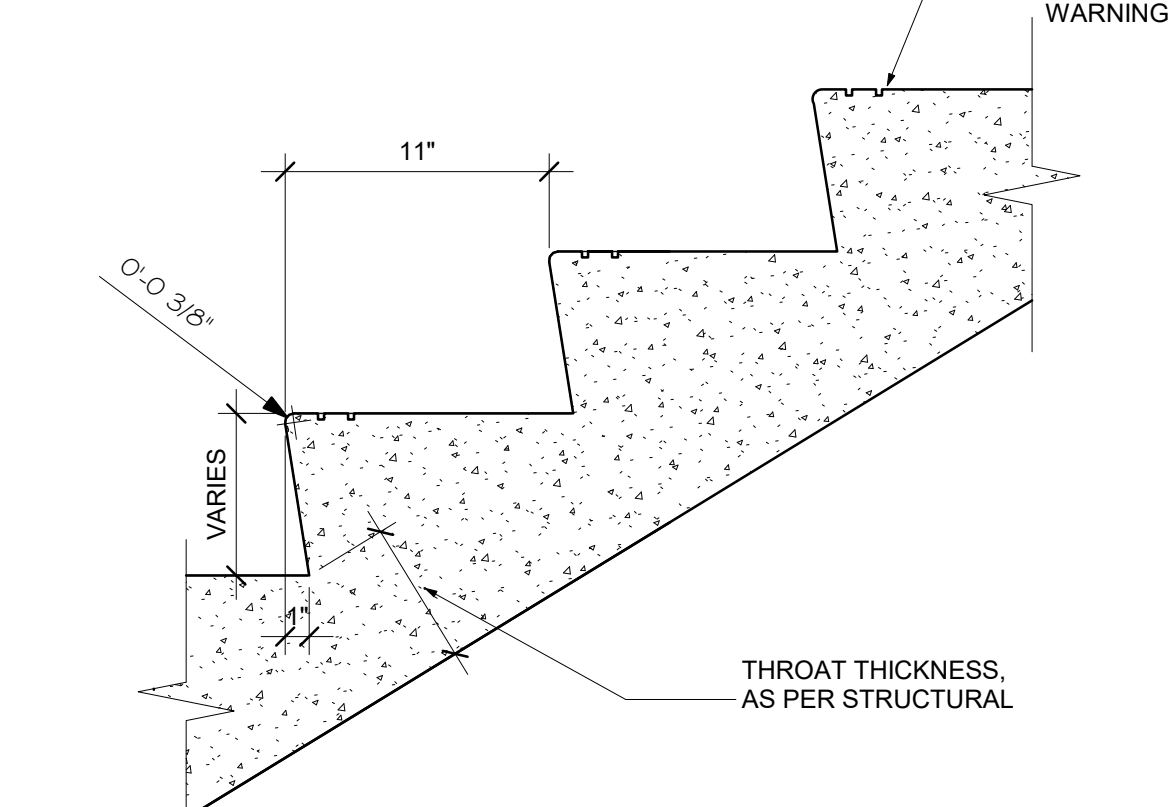
2 STAIR 5 - LEVEL 2
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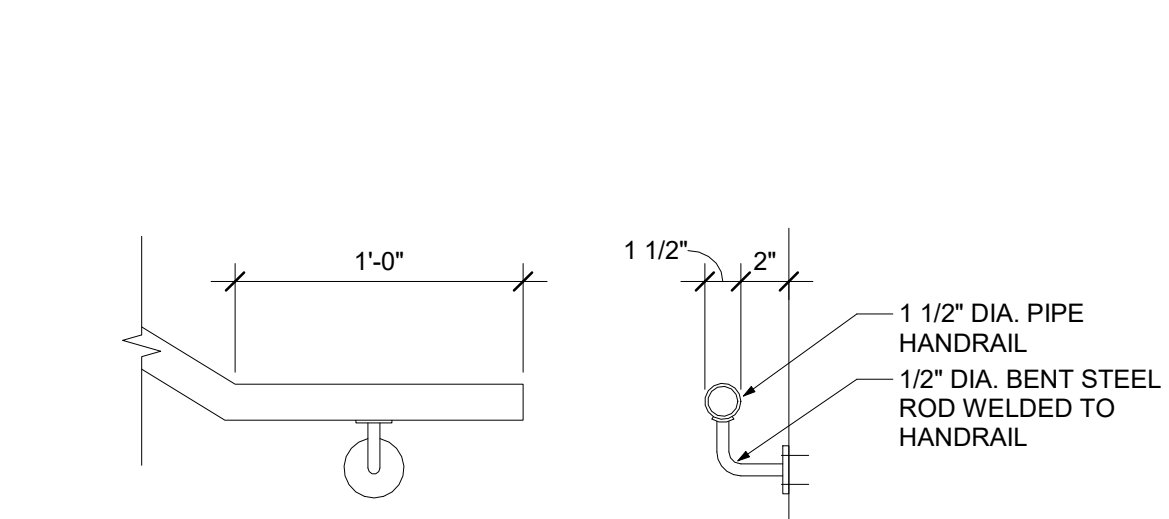
3 STAIR 5 - LEVEL 3
1/4" = 1'-0"



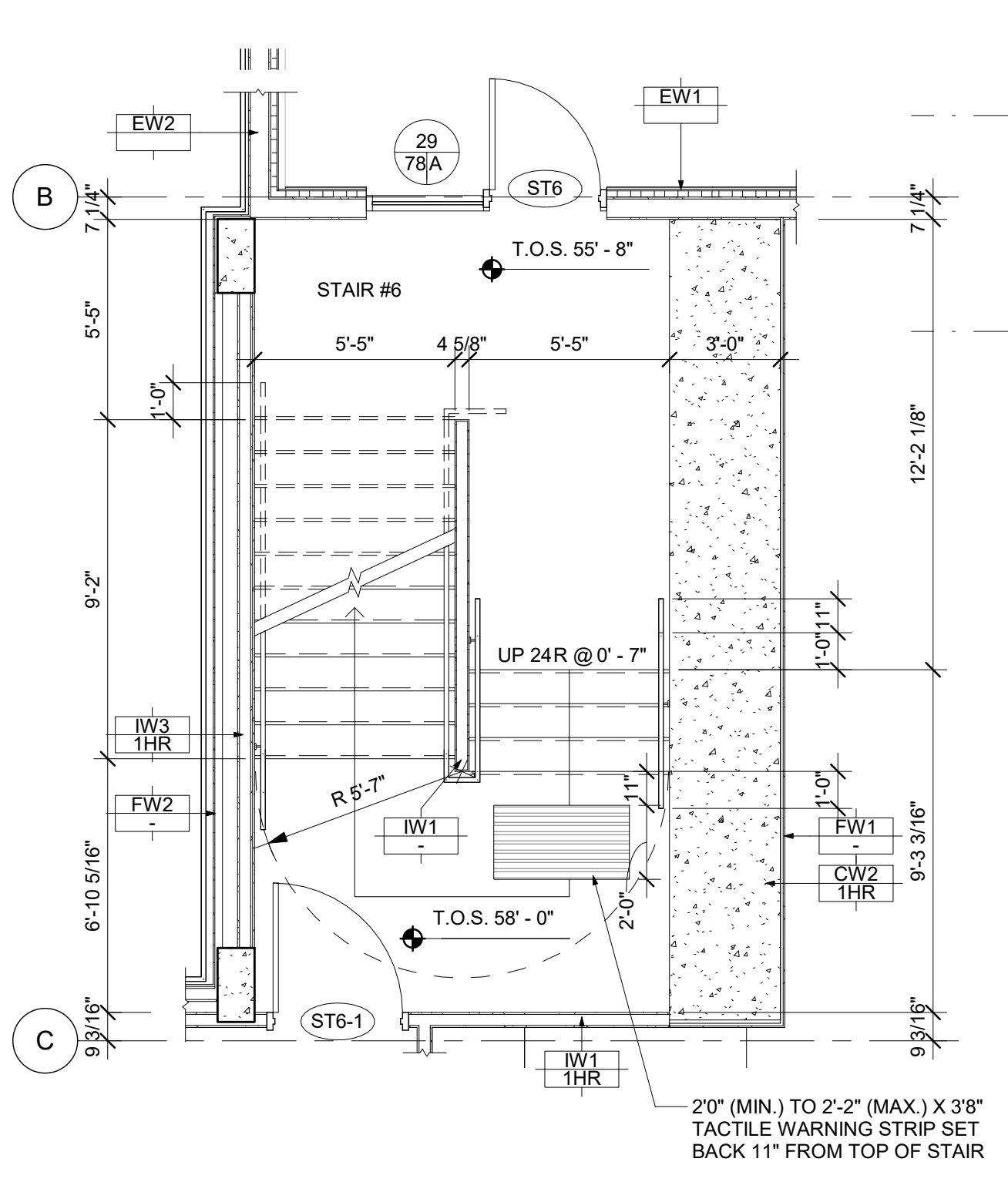
4 STAIR 5 SECTION
1/4" = 1'-0"



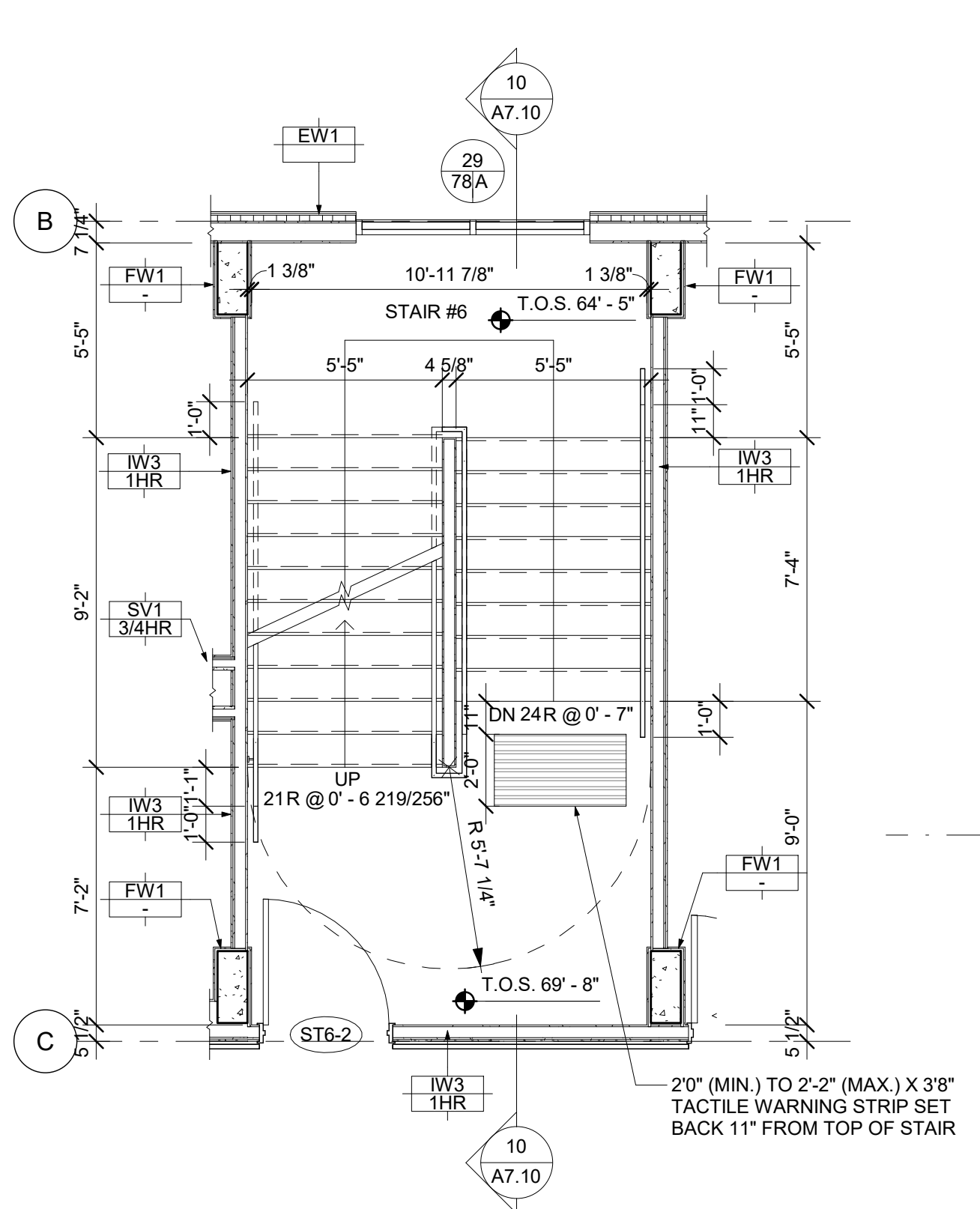
5 CONCRETE STAIR DETAIL
1 1/2" = 1'-0"



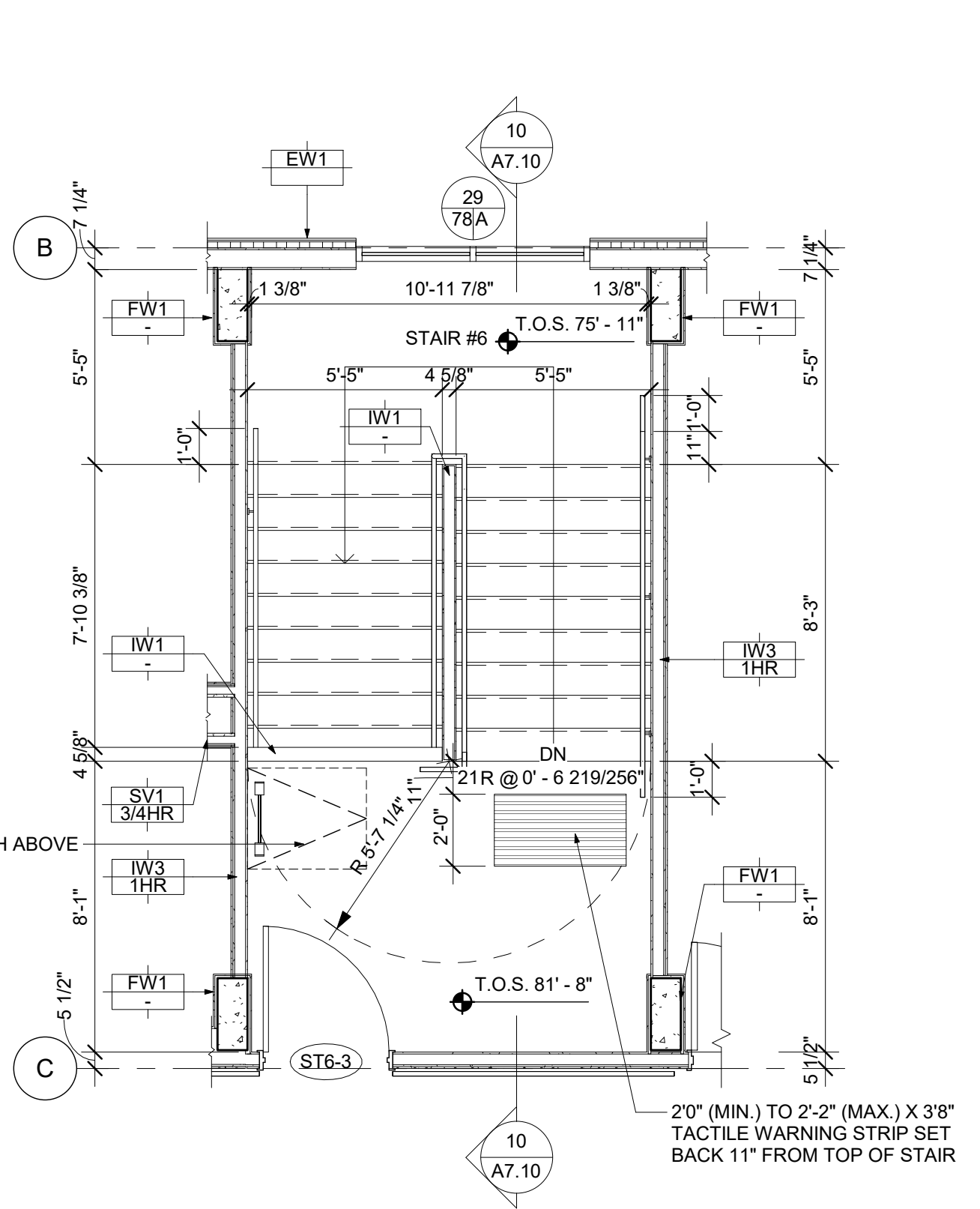
6 TYP. HANDRAIL DETAIL
1 1/2" = 1'-0"



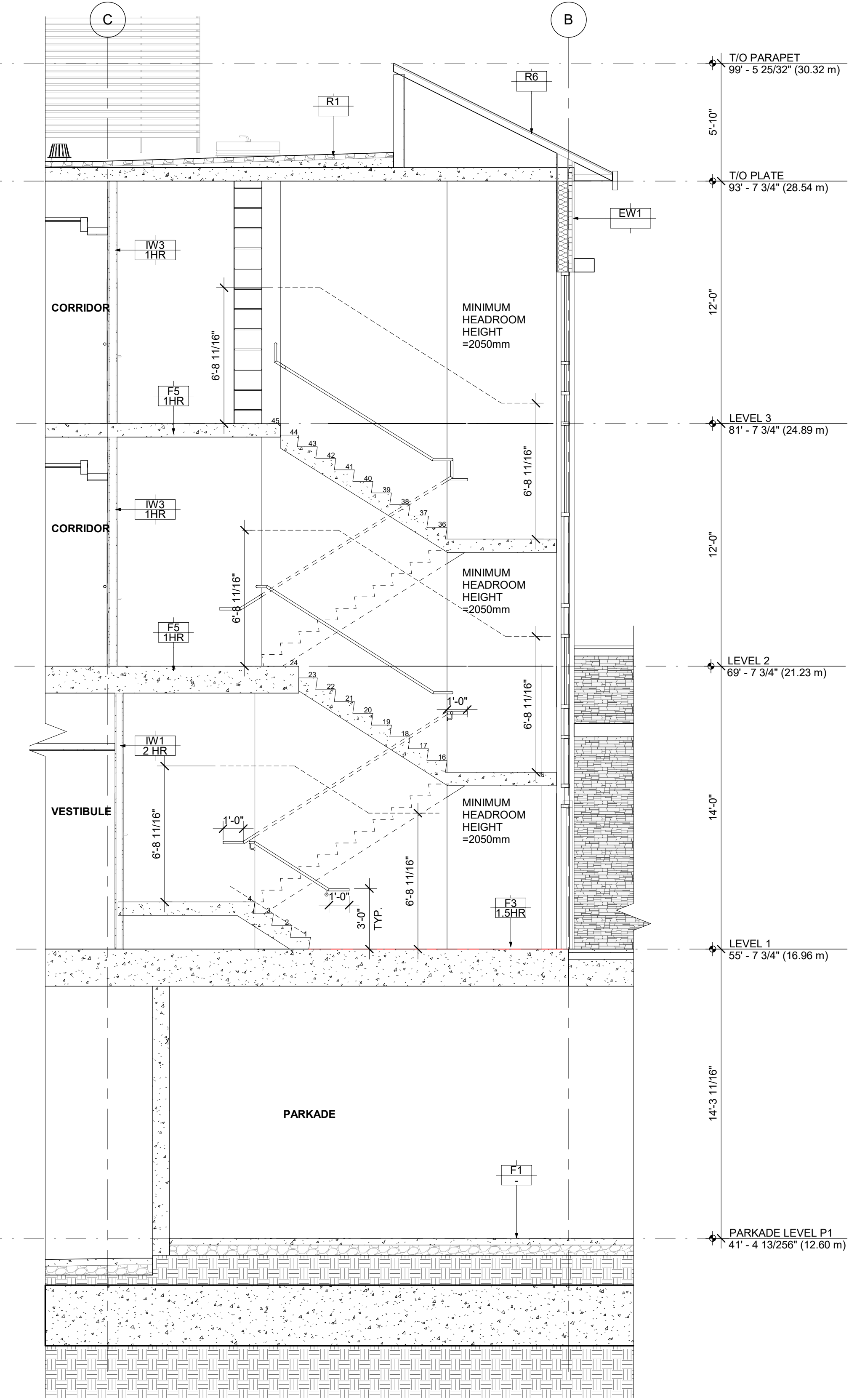
7 STAIR 6 - LEVEL 1
1/4" = 1'-0"



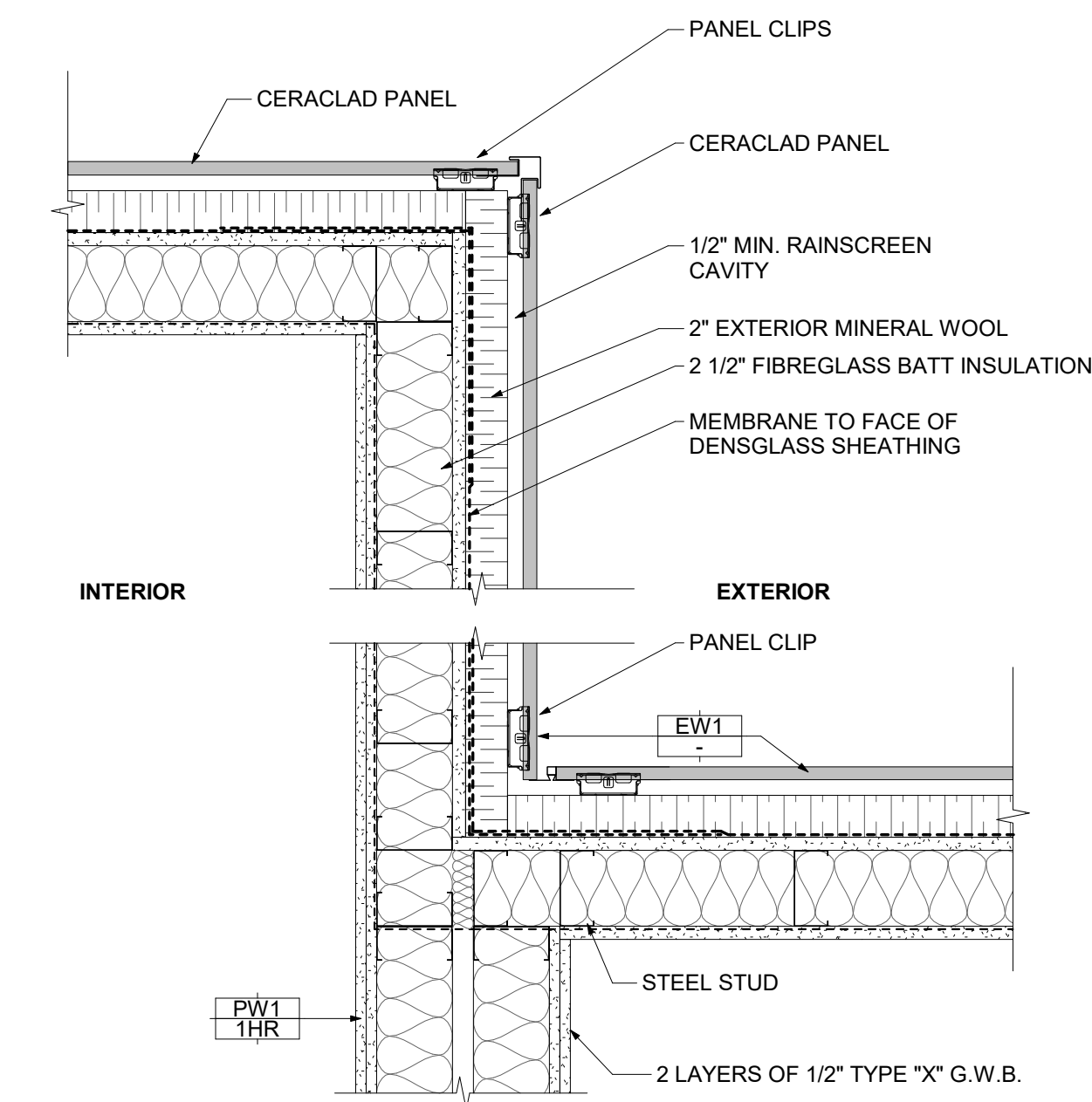
8 STAIR 6 - LEVEL 2
1/4" = 1'-0"



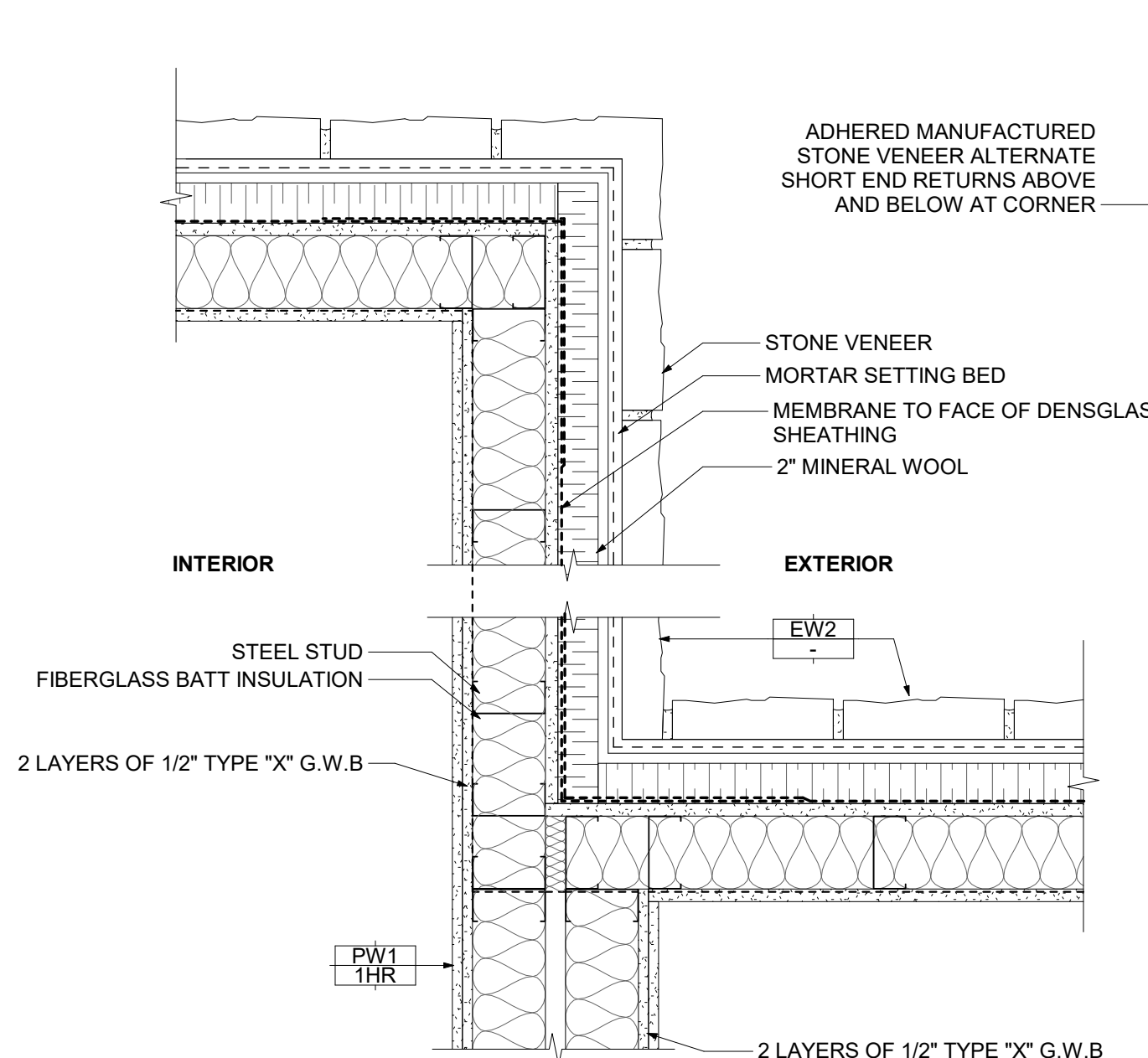
9 STAIR 6 - LEVEL 3
1/4" = 1'-0"



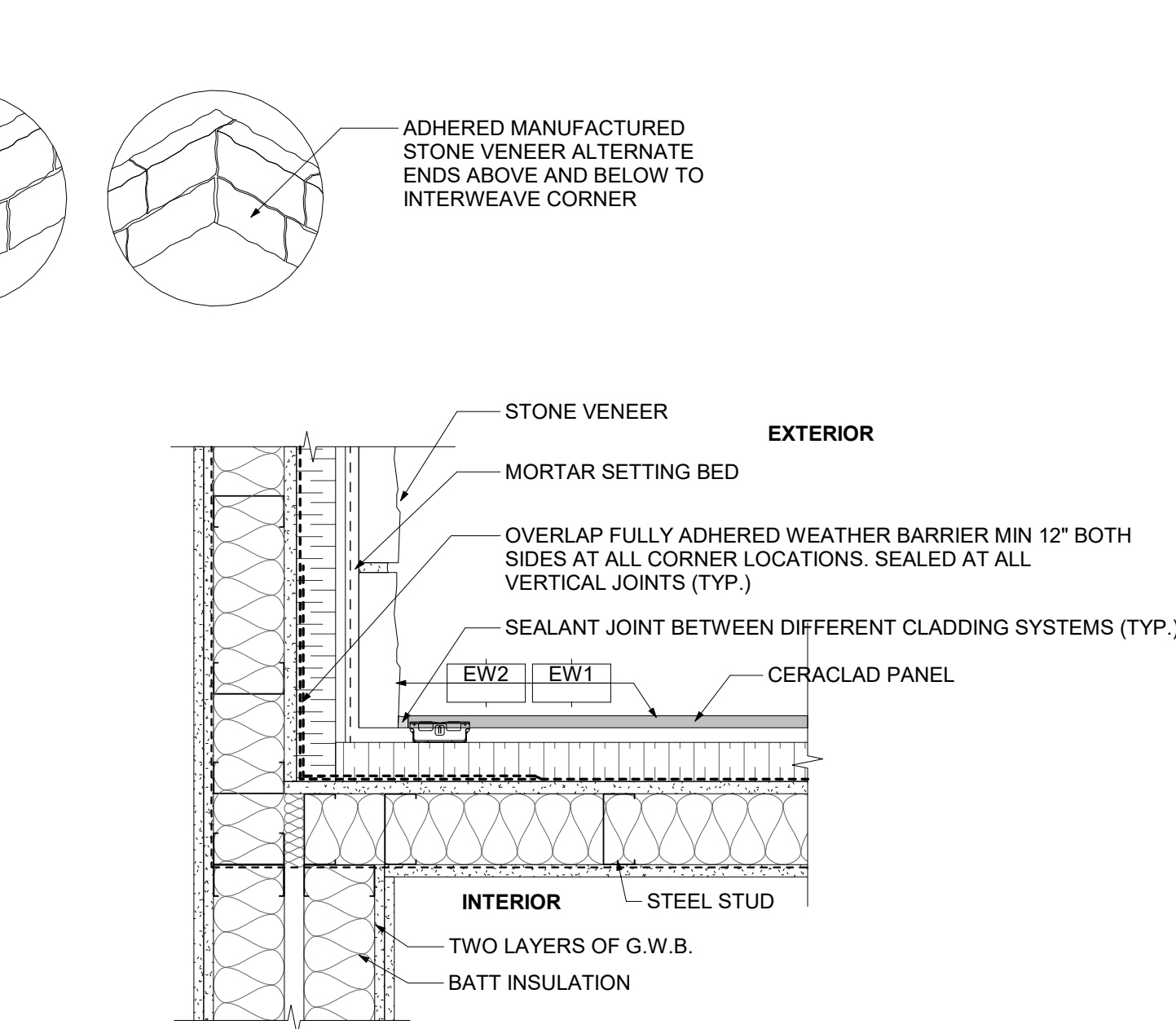
10 STAIR 6 - SECTION
1/4" = 1'-0"



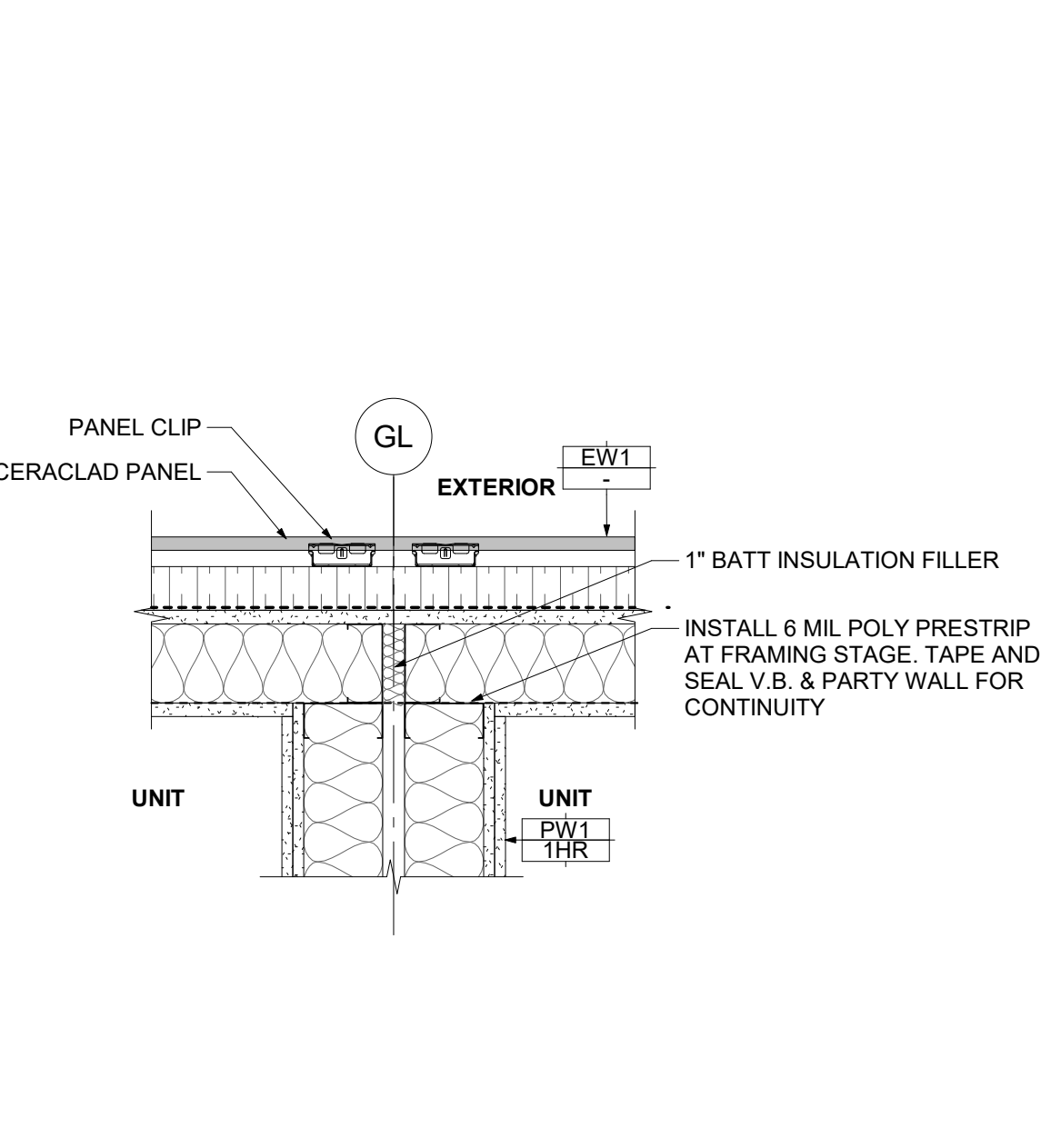
1 INSIDE & OUTSIDE CORNER - CERACLAD
1 1/2" = 1'-0"



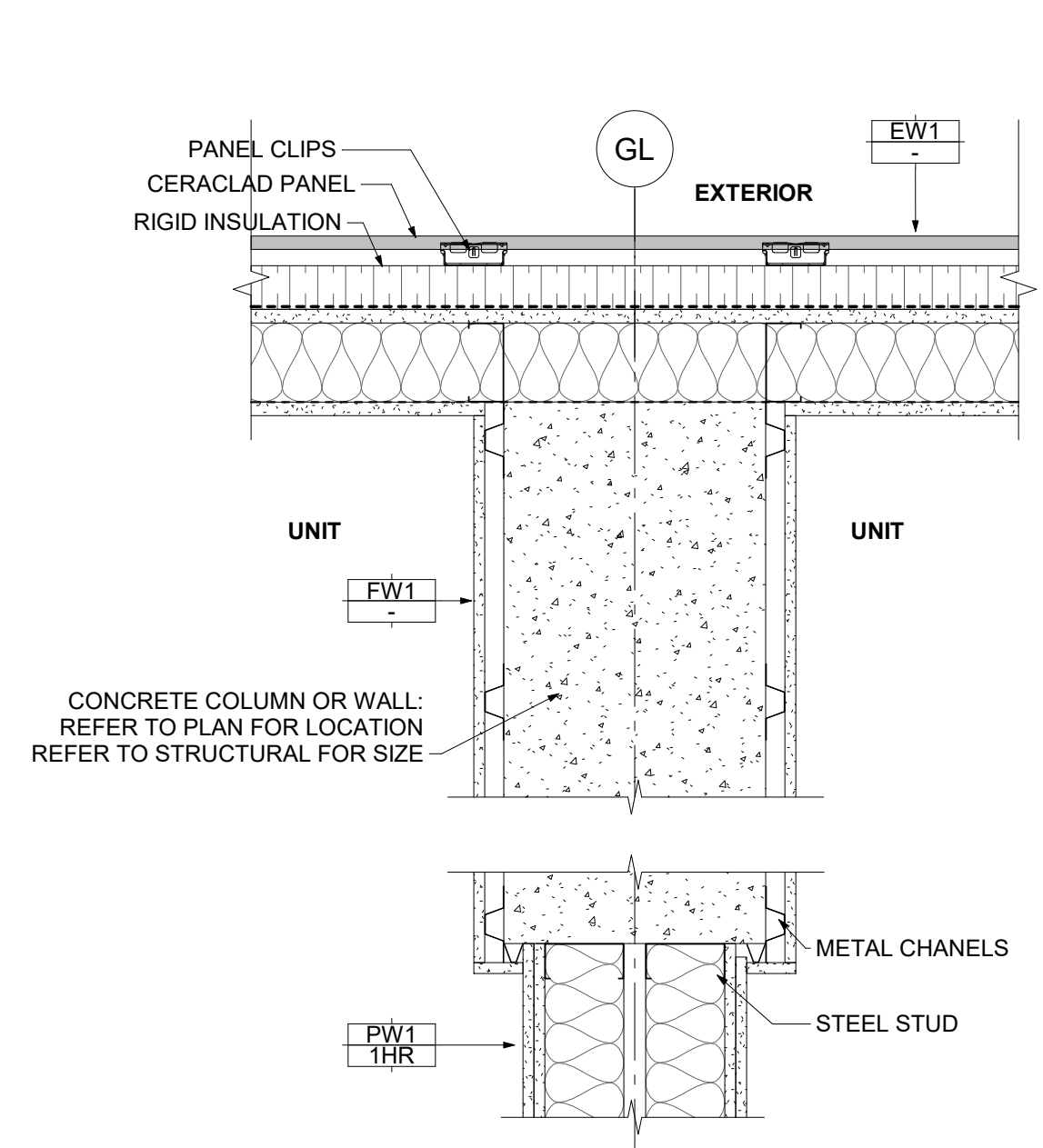
2 INSIDE & OUTSIDE CORNER - STONE CLADDING
1 1/2" = 1'-0"



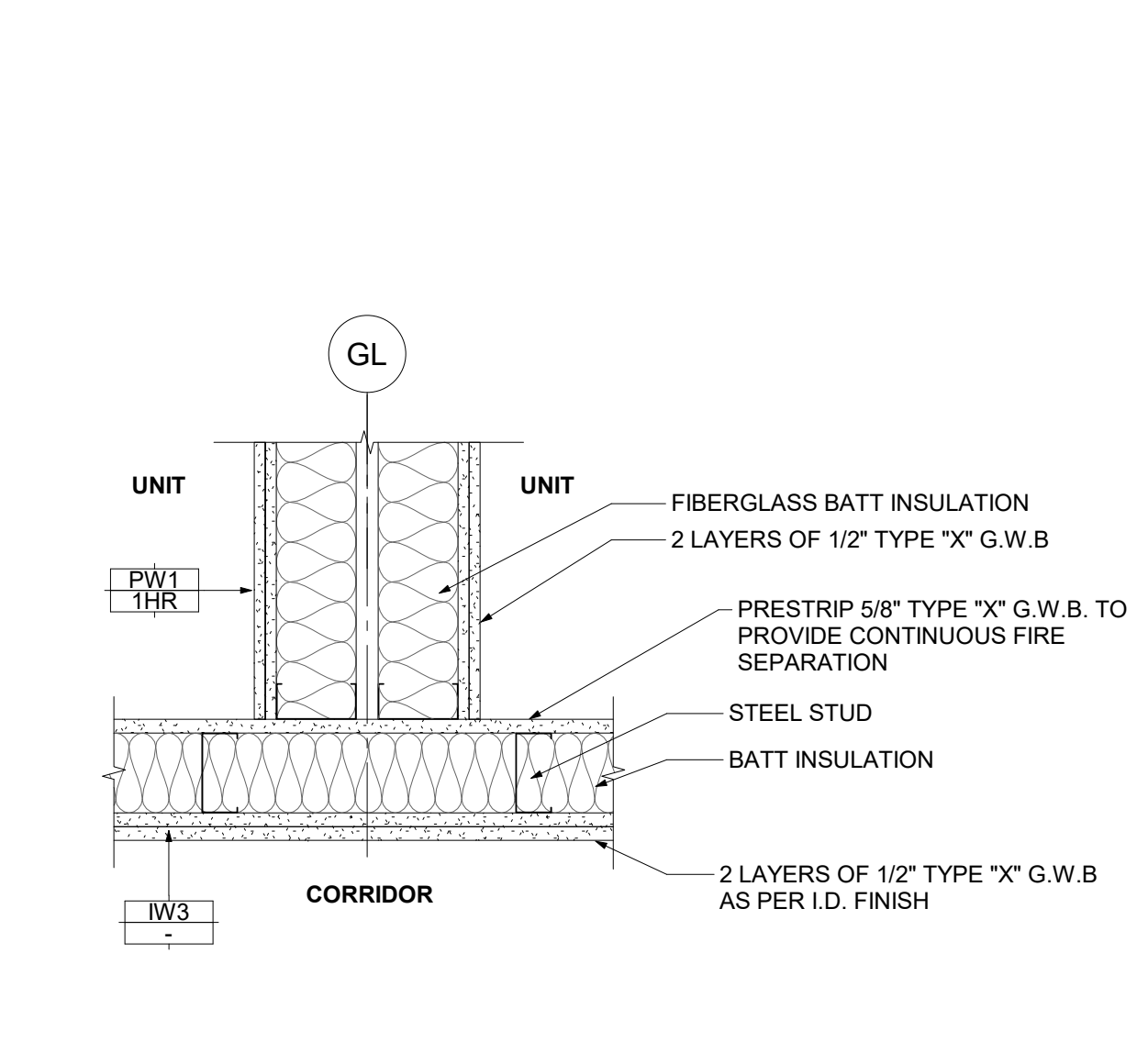
3 INSIDE CORNER - STONE TO CERACLAD TRANSITION
1 1/2" = 1'-0"



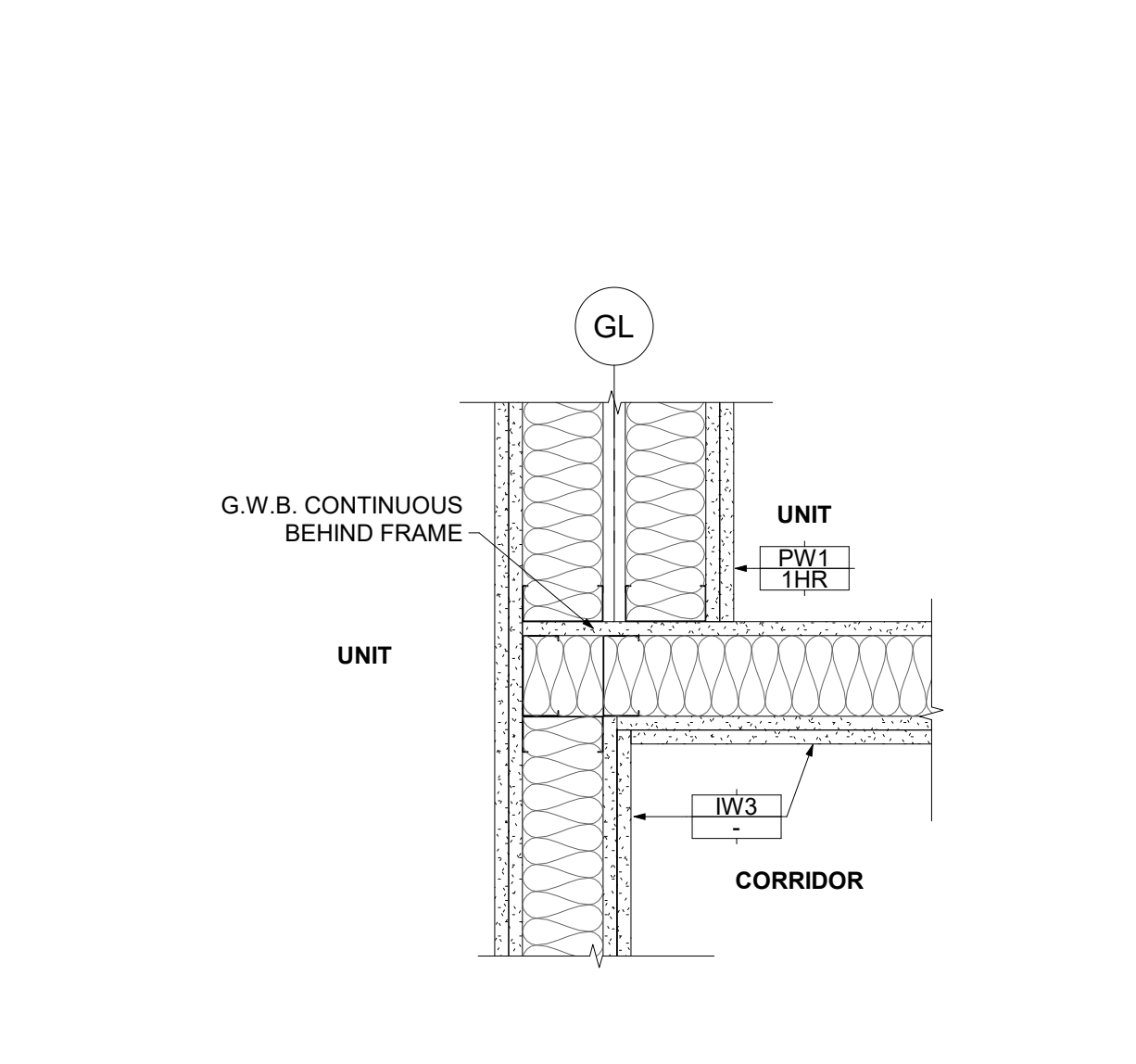
4 PARTY WALL TO EXTERIOR WALL
1 1/2" = 1'-0"



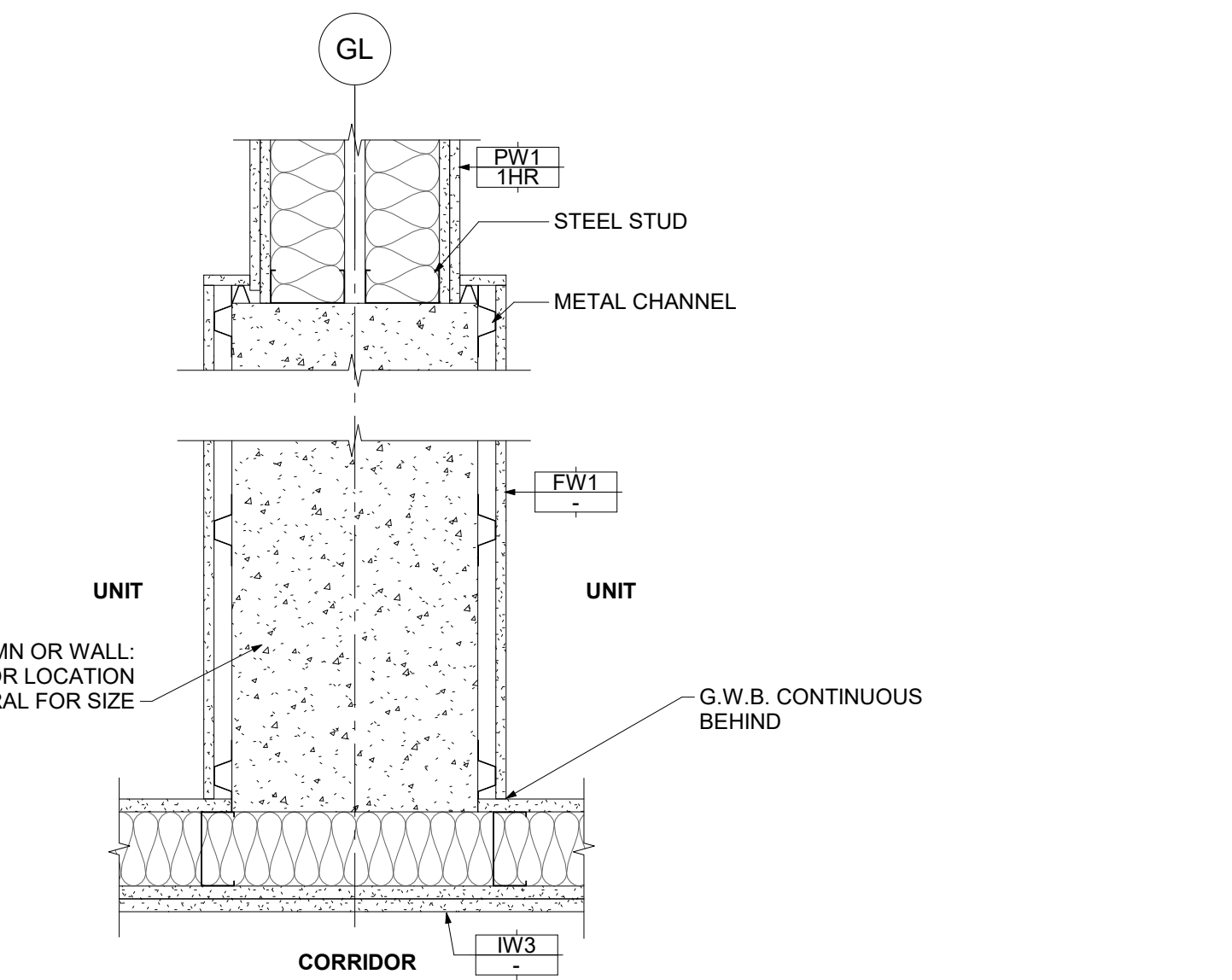
5 PARTY WALL TO EXTERIOR WALL W/STRUCTURE
1 1/2" = 1'-0"



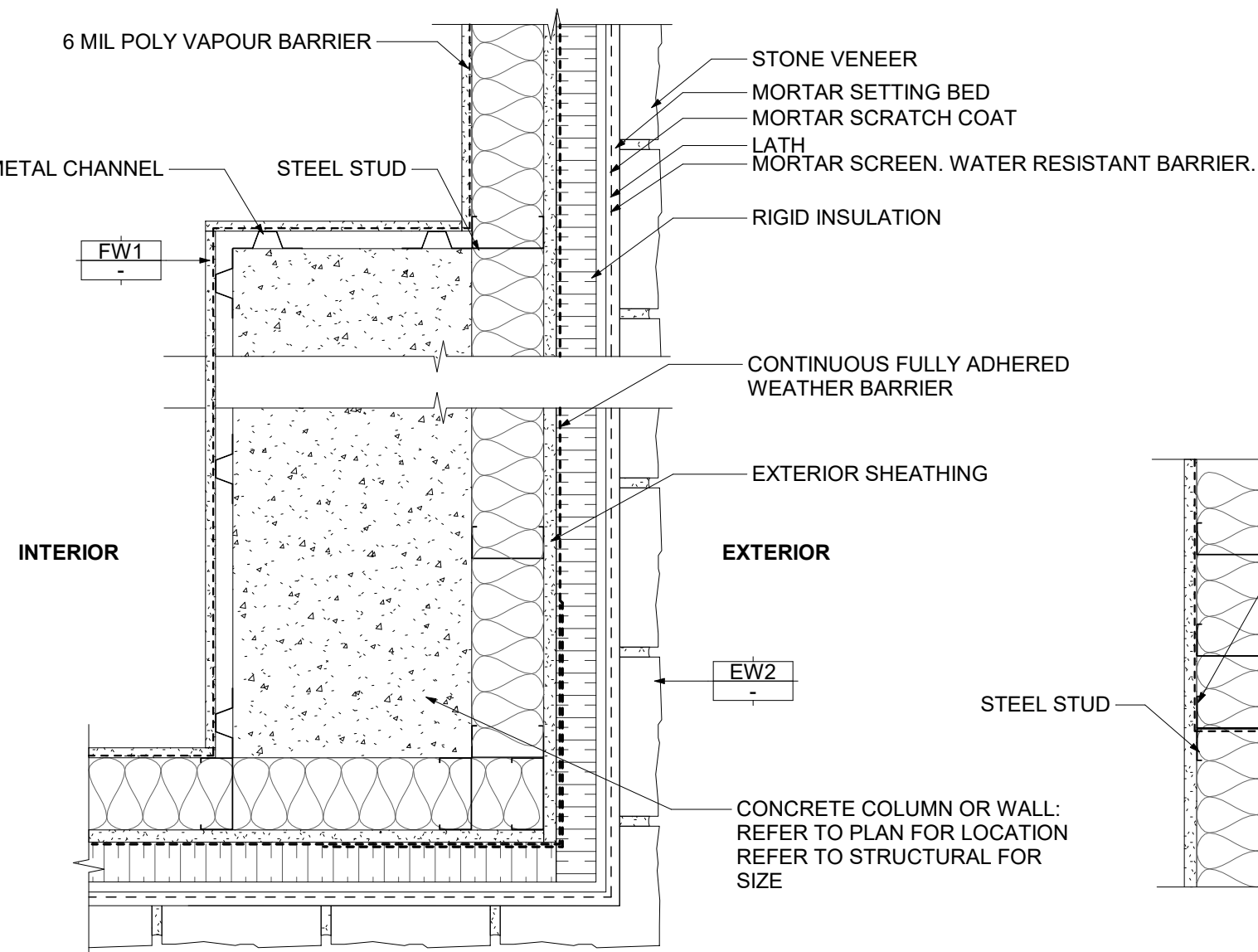
6 PARTY WALL TO CORRIDOR WALL
1 1/2" = 1'-0"



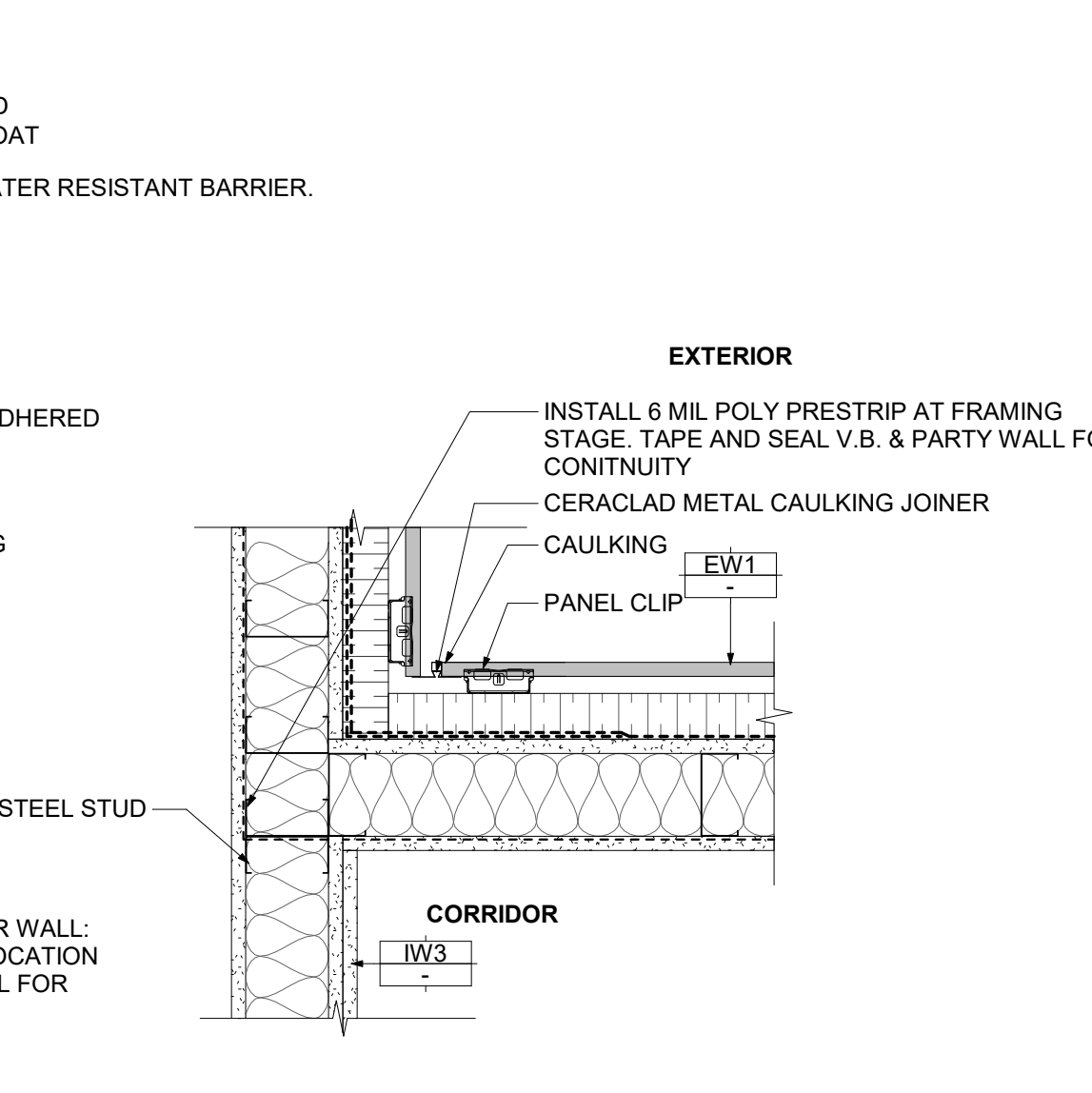
7 PARTY WALL TO CORRIDOR WALL (CORNER)
1 1/2" = 1'-0"



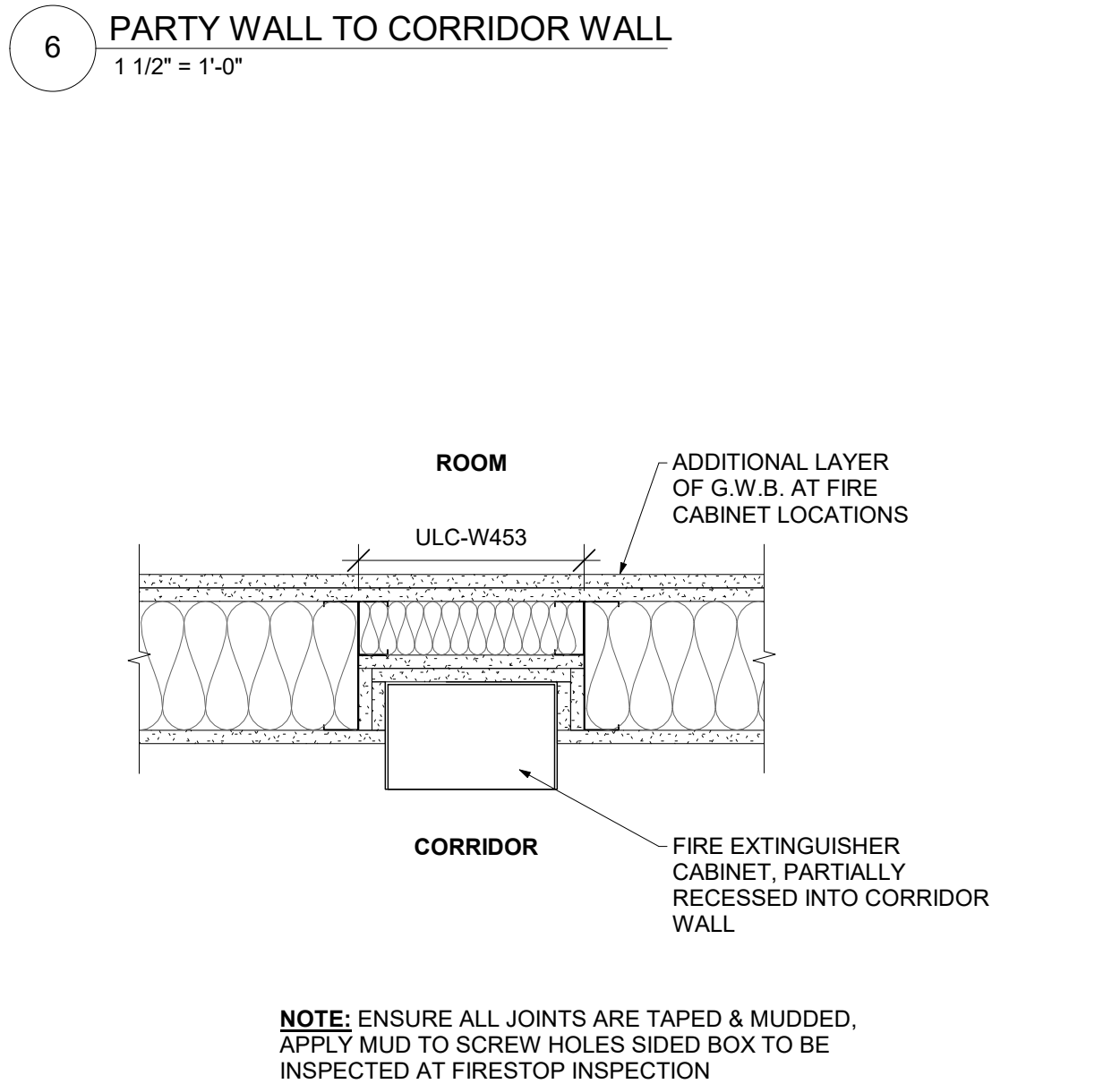
8 PARTY WALL TO CORRIDOR WALL W/STRUCTURE
1 1/2" = 1'-0"



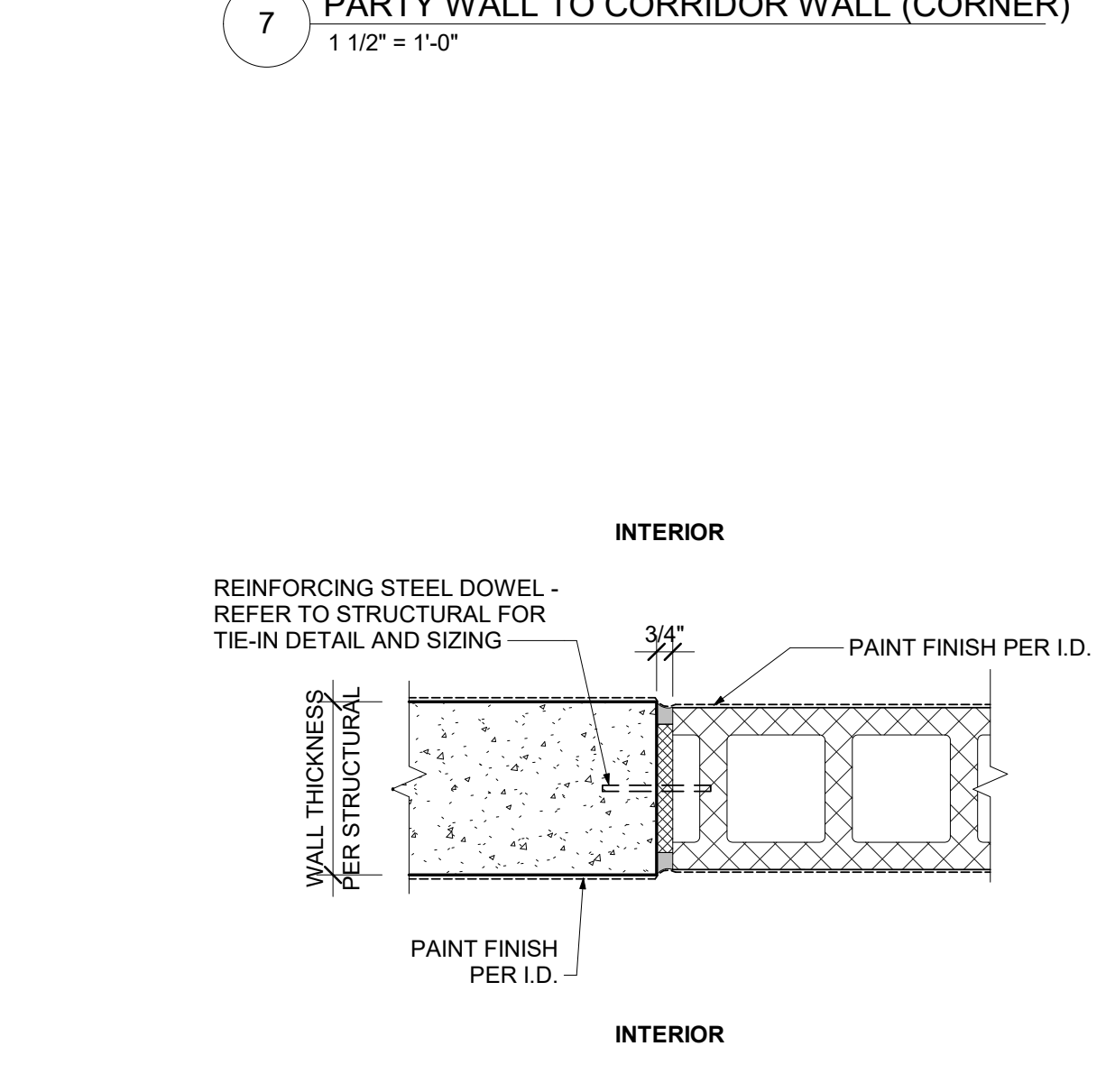
9 COLUMN AT OUTSIDE CORNER
1 1/2" = 1'-0"



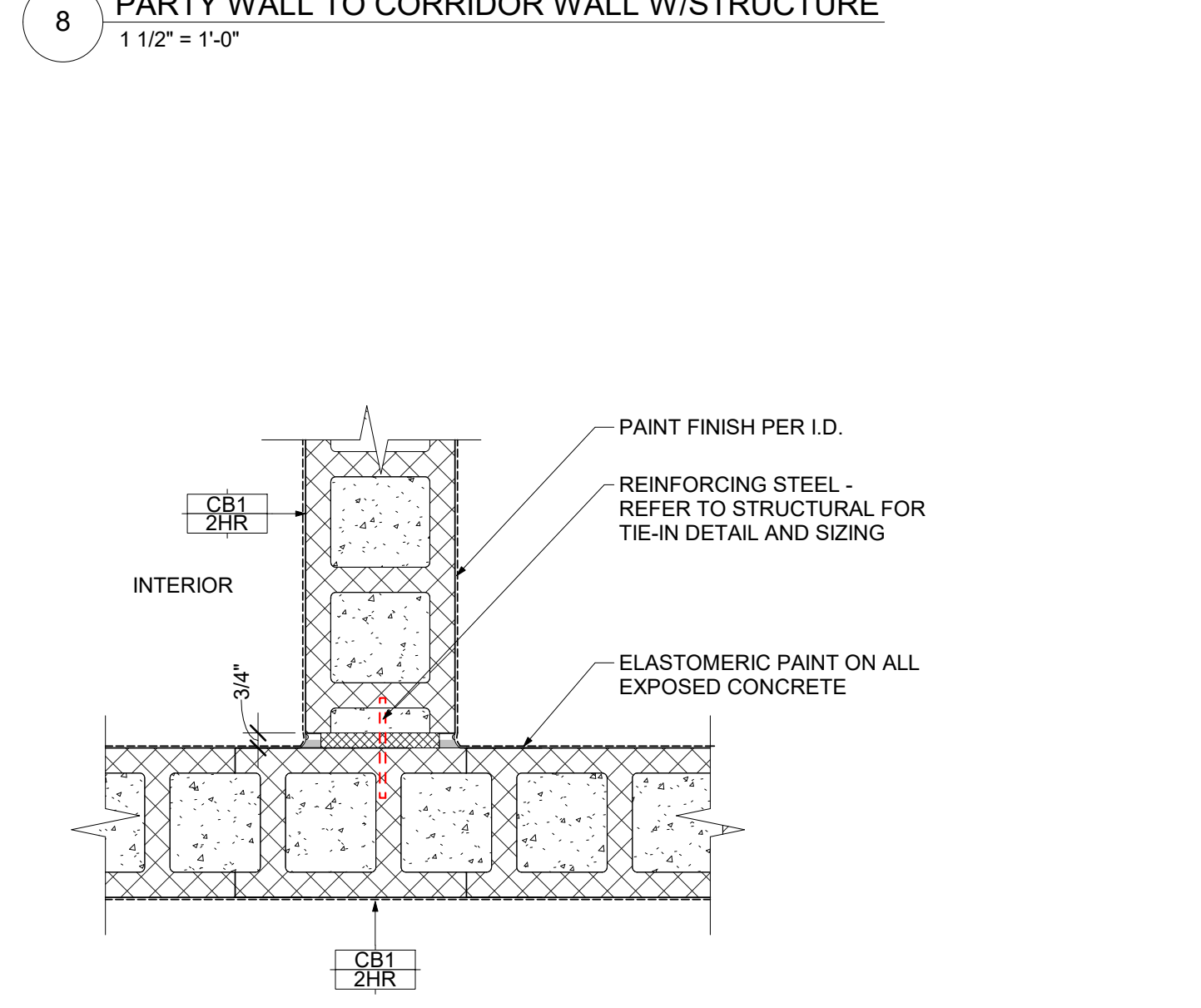
10 CORRIDOR WALL TO EXT. WALL
1 1/2" = 1'-0"



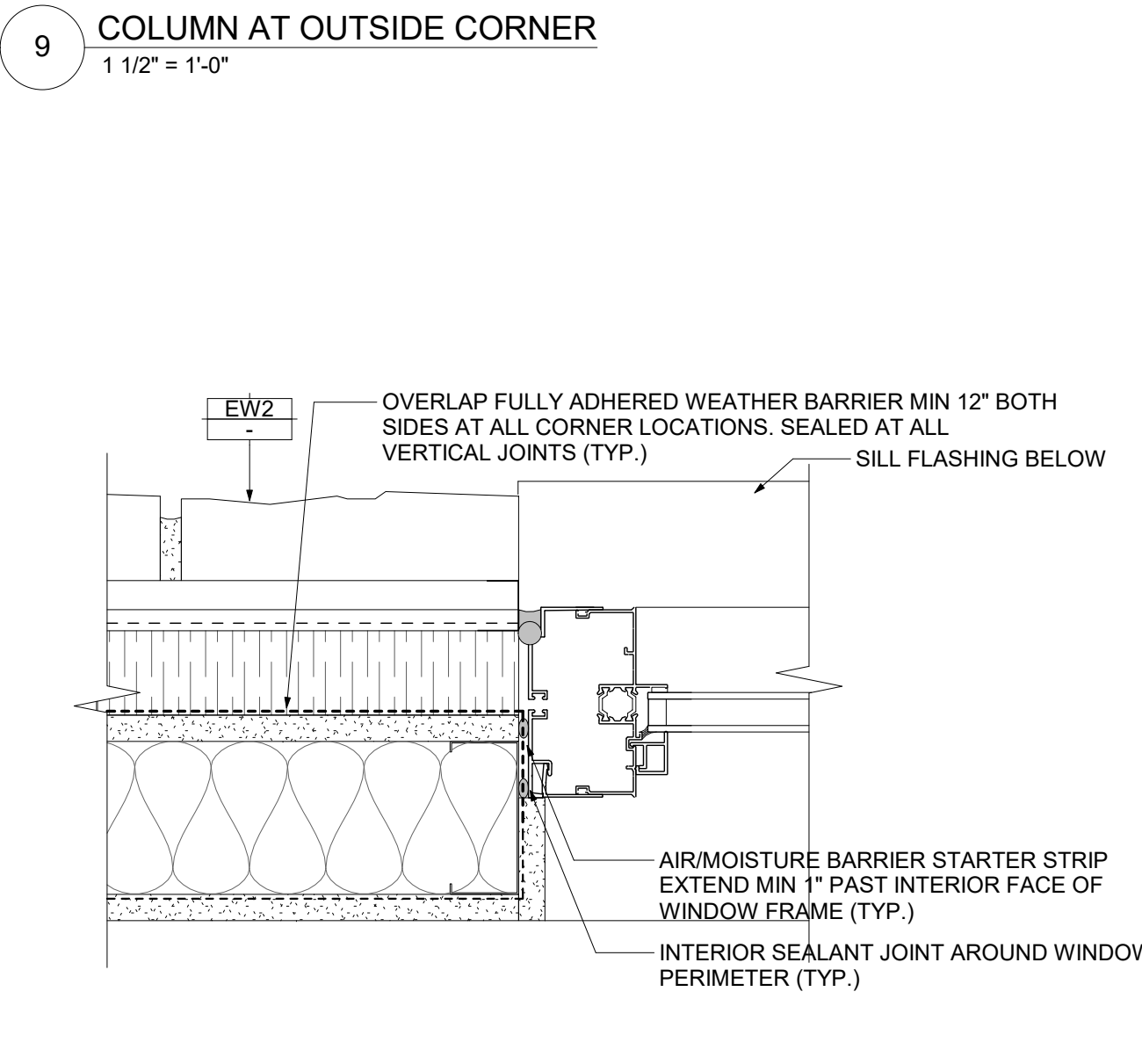
11 RECESSED FIRE EXT. CABINET AT CORRIDOR WALL
1 1/2" = 1'-0"



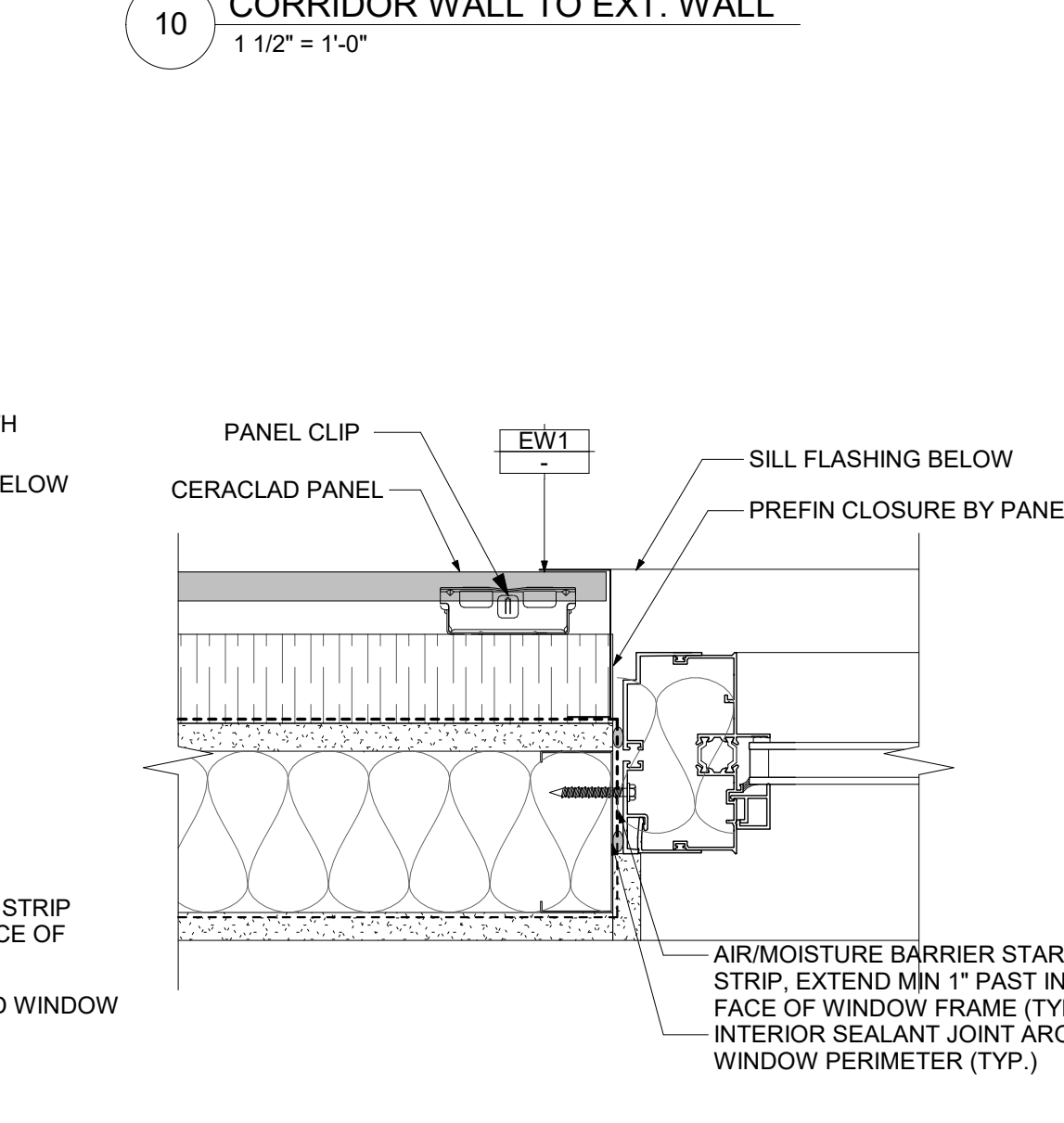
12 CMU TO CONC. WALL
1 1/2" = 1'-0"



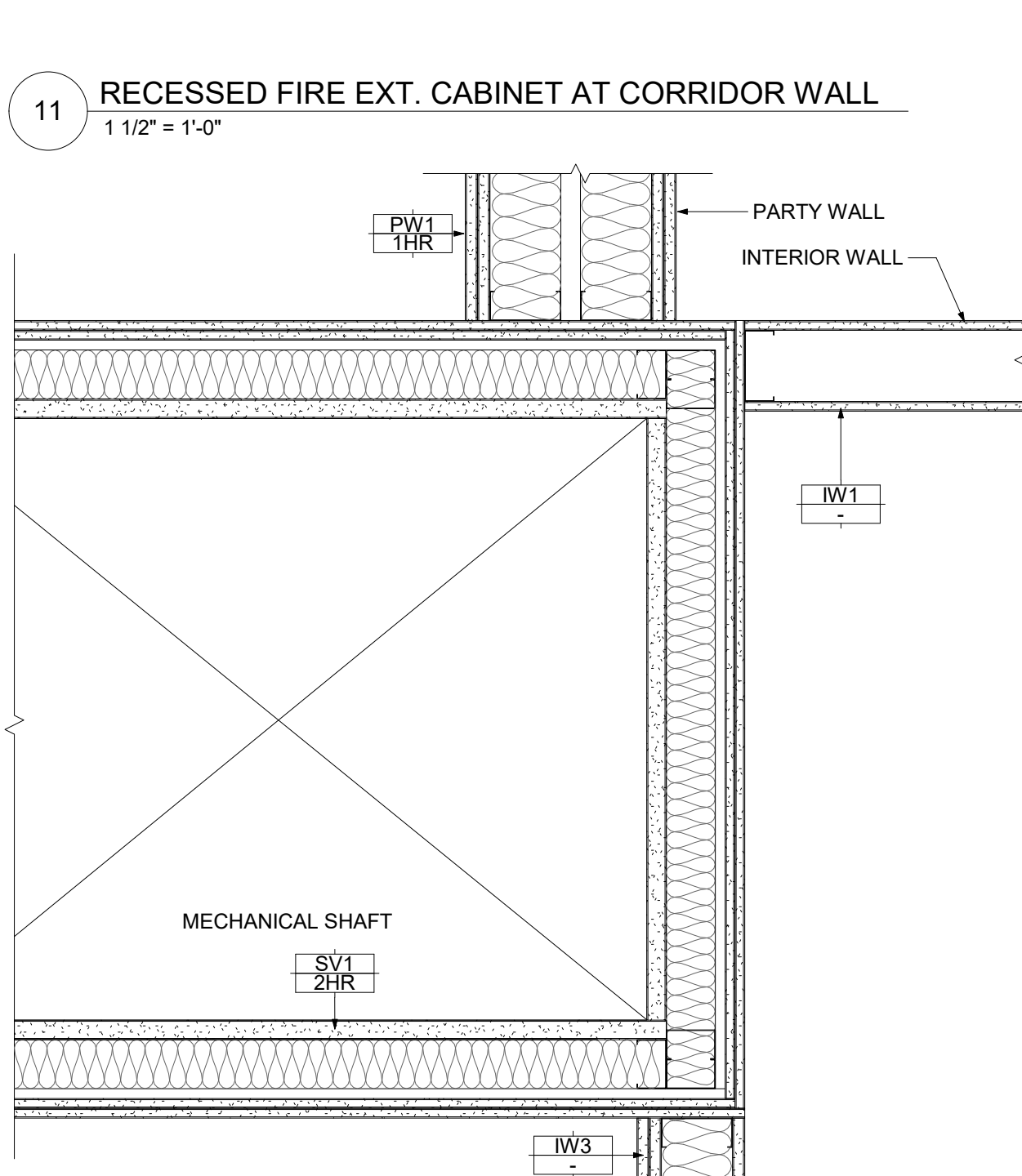
13 TYP. MASONRY WALL CONNECTION DETAIL
1 1/2" = 1'-0"



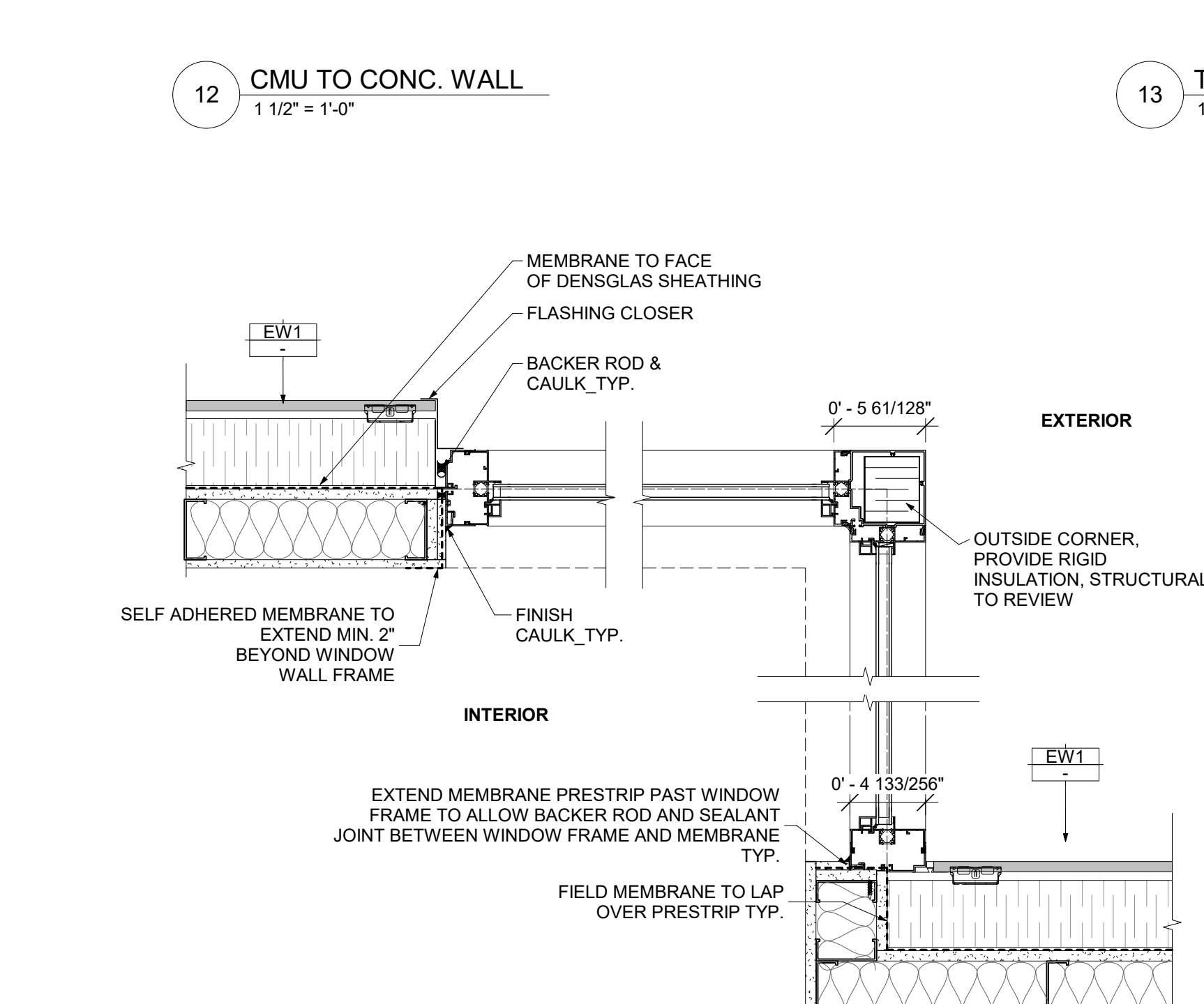
14 TYP. JAMB DETAIL - STONE
3\"/>



15 TYP. JAMB DETAIL - CERACLAD
3\"/>



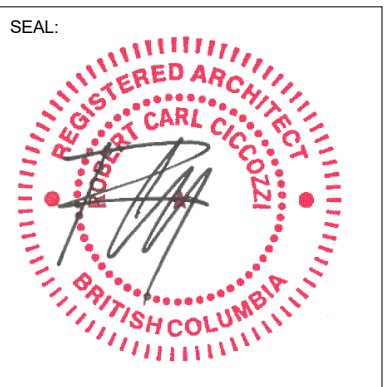
16 MECHANICAL SHAFT WALL CONNECTION
1 1/2" = 1'-0"



17 WINDOW AT CORNER
1 1/2" = 1'-0"

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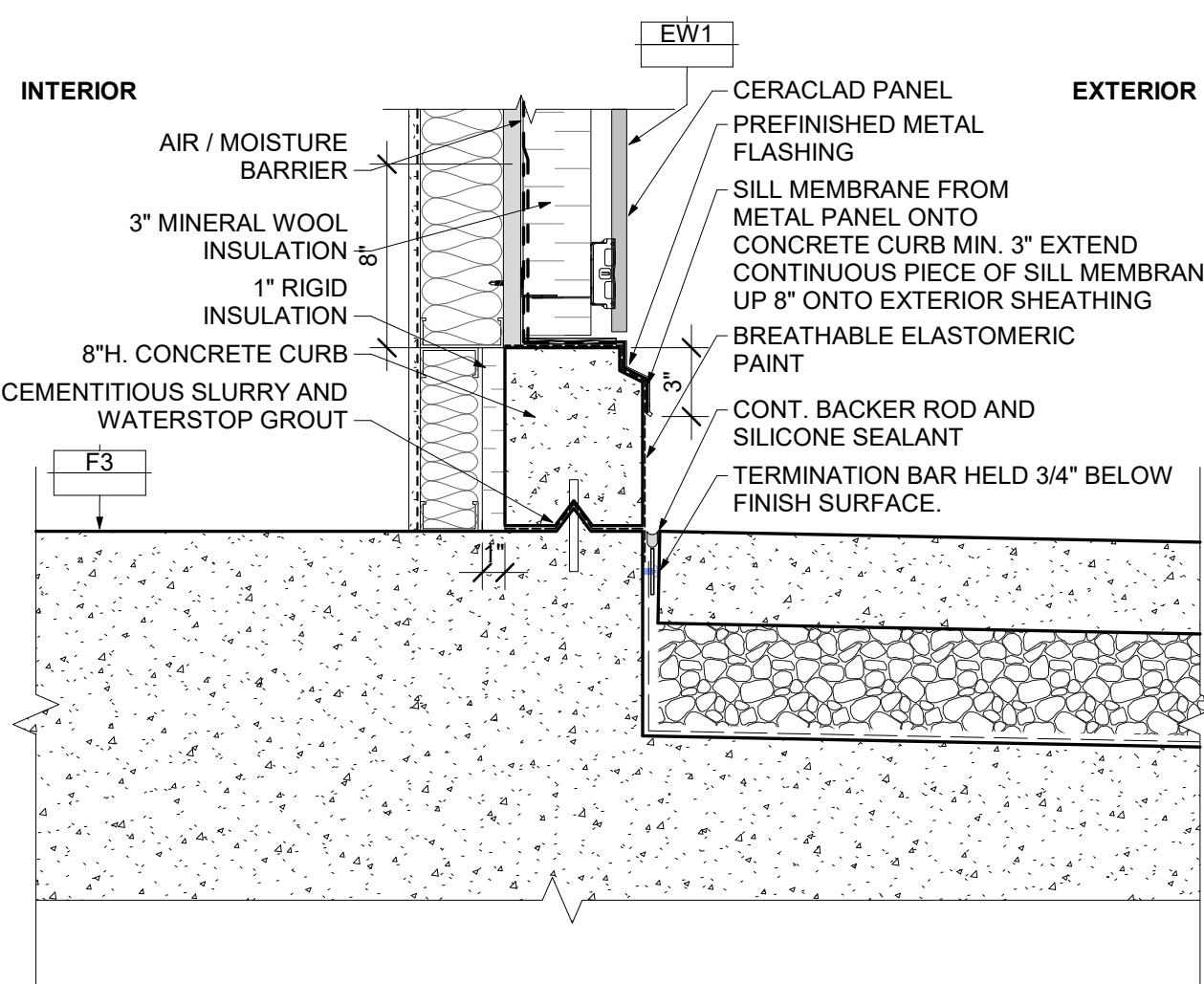
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CANADA V6E 2M6
TEL: 604 687-4741

PROJECT:

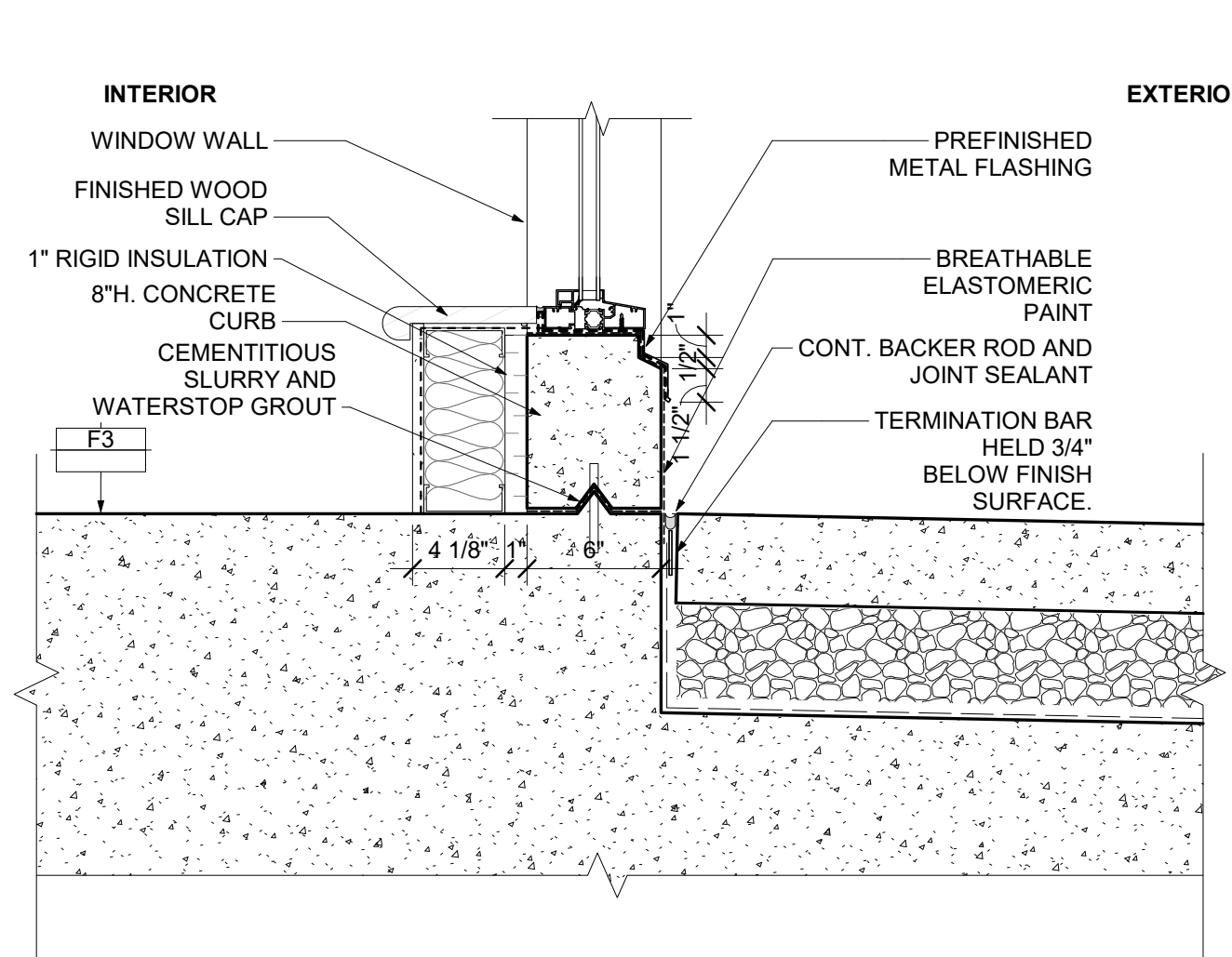
**GURU NANAK
DIVERSITY
VILLAGE**

6471 175A STREET
SURREY, BC

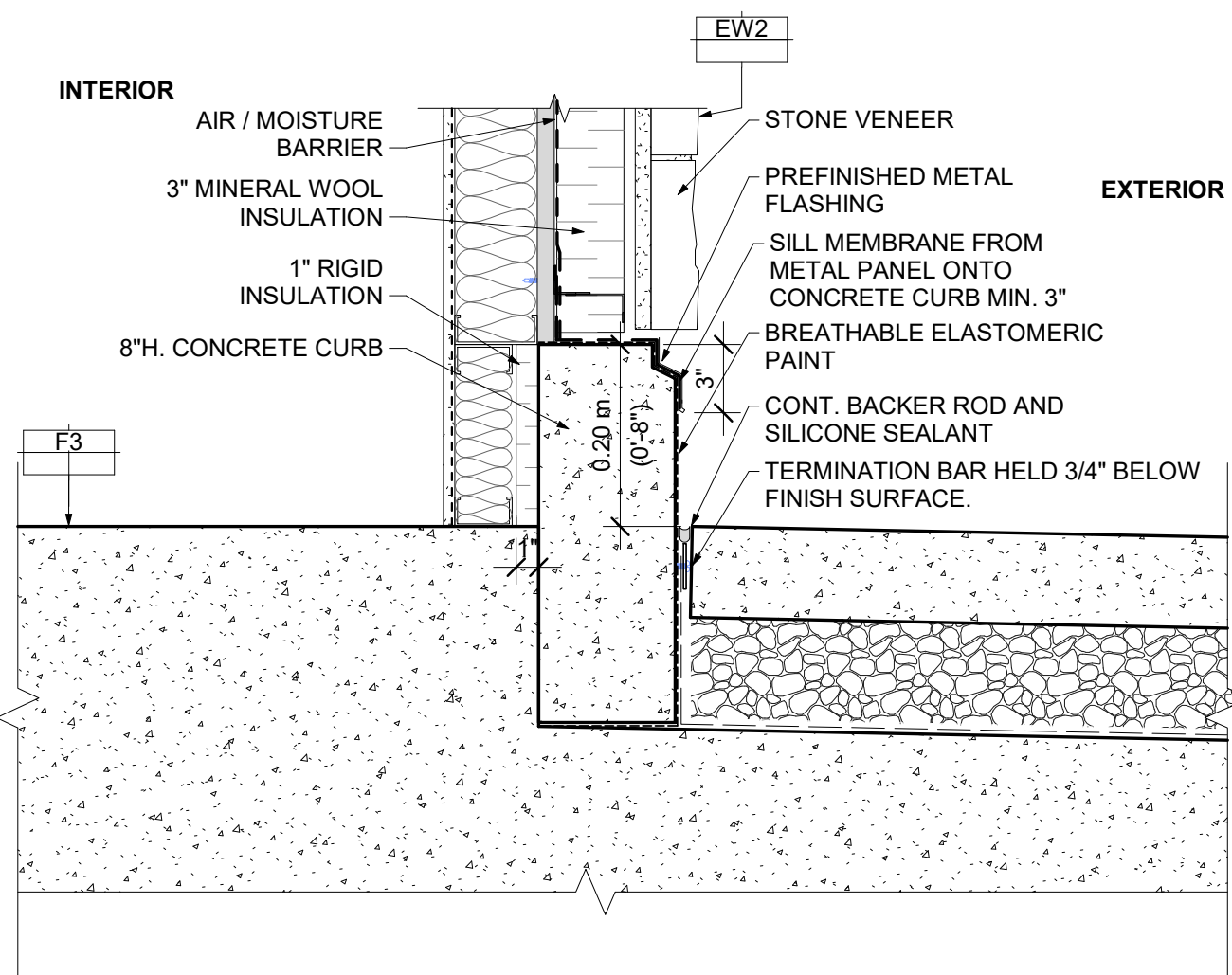
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SCALE: As indicated	PROJECT NO.: CA638
SHEET TITLE: PLAN DETAILS	
REV. NO.:	SHEET NO.: A8.0



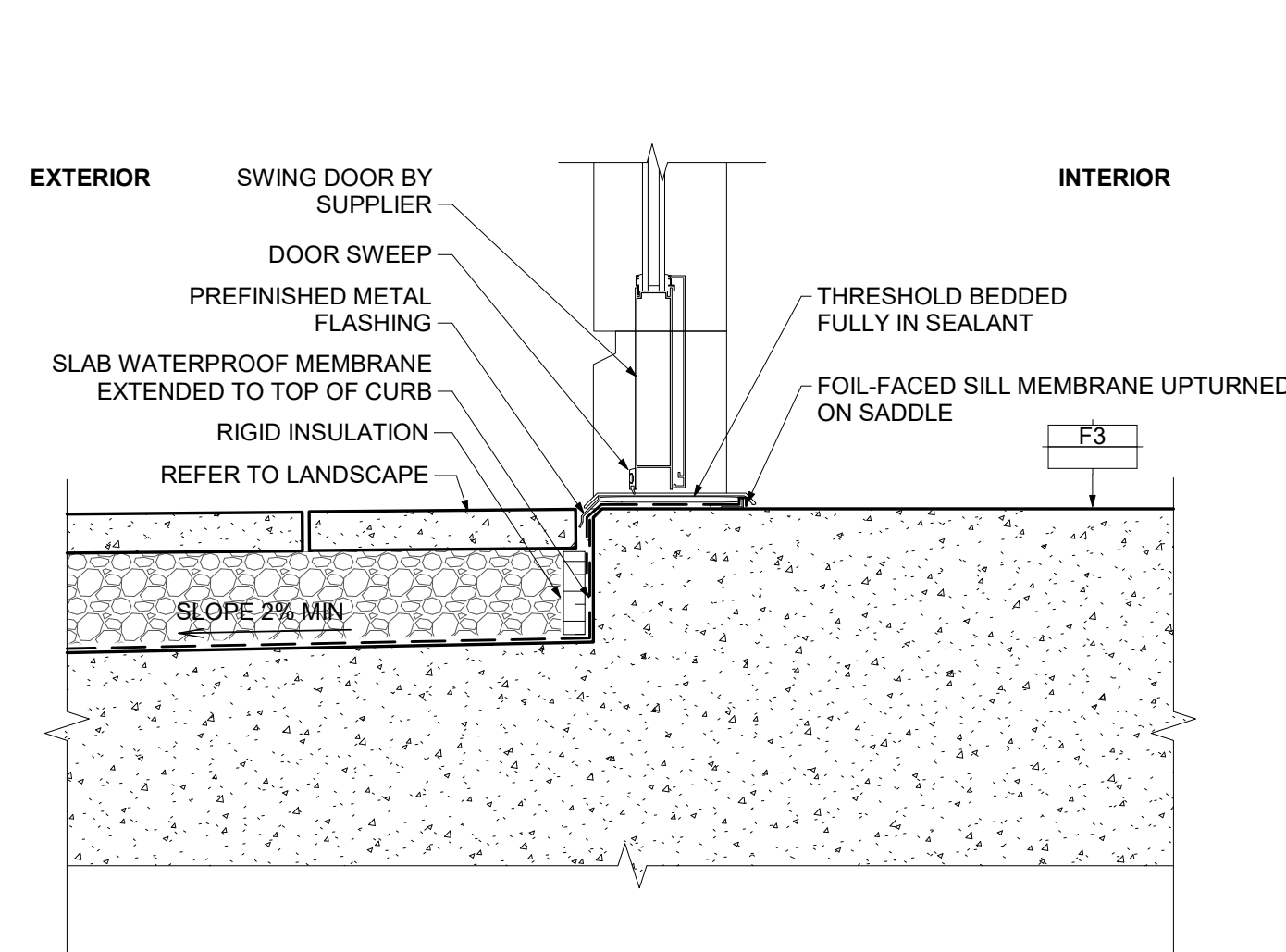
1 CERACLAD AT GRADE
1 1/2" = 1'-0"



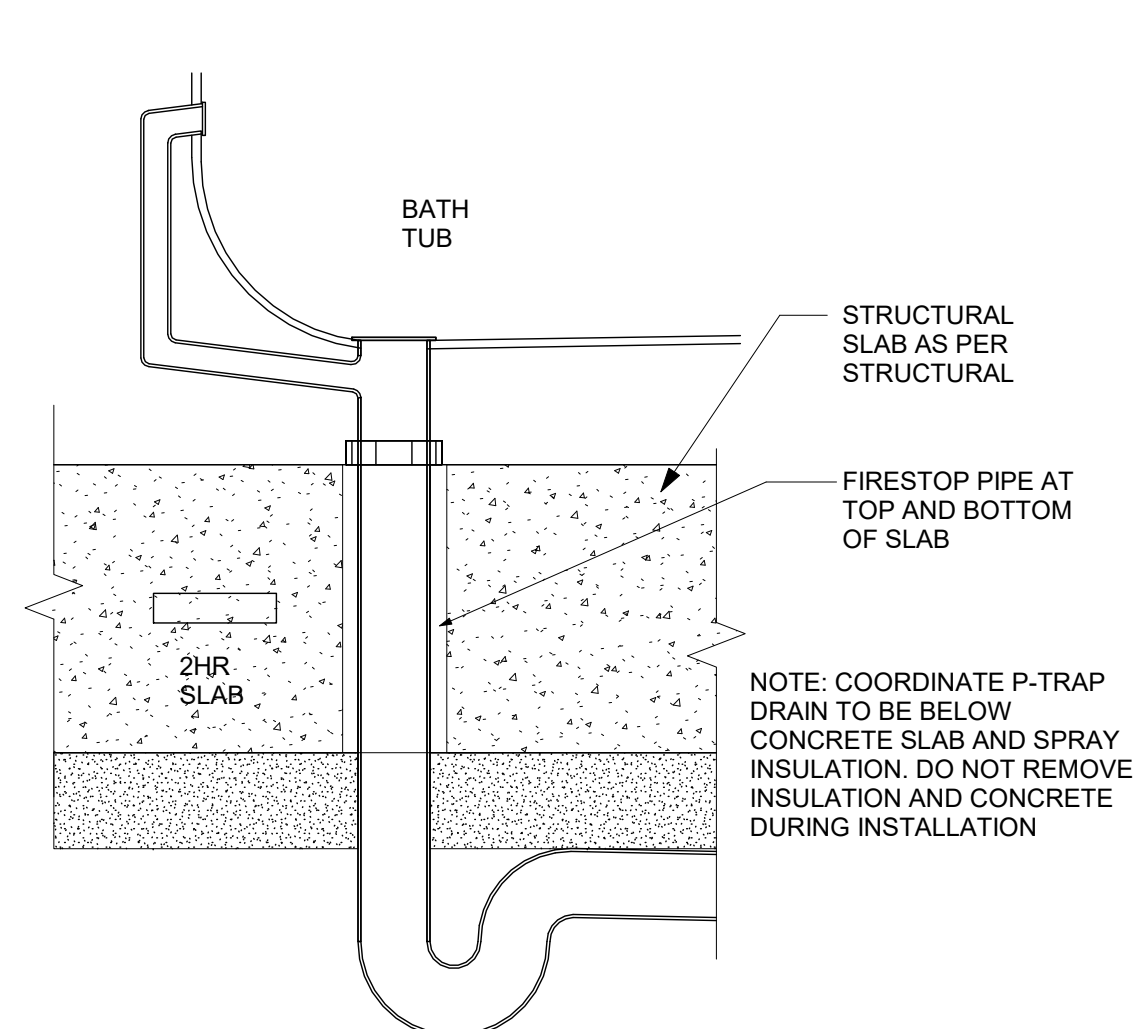
2 WINDOW WALL AT GRADE
1 1/2" = 1'-0"



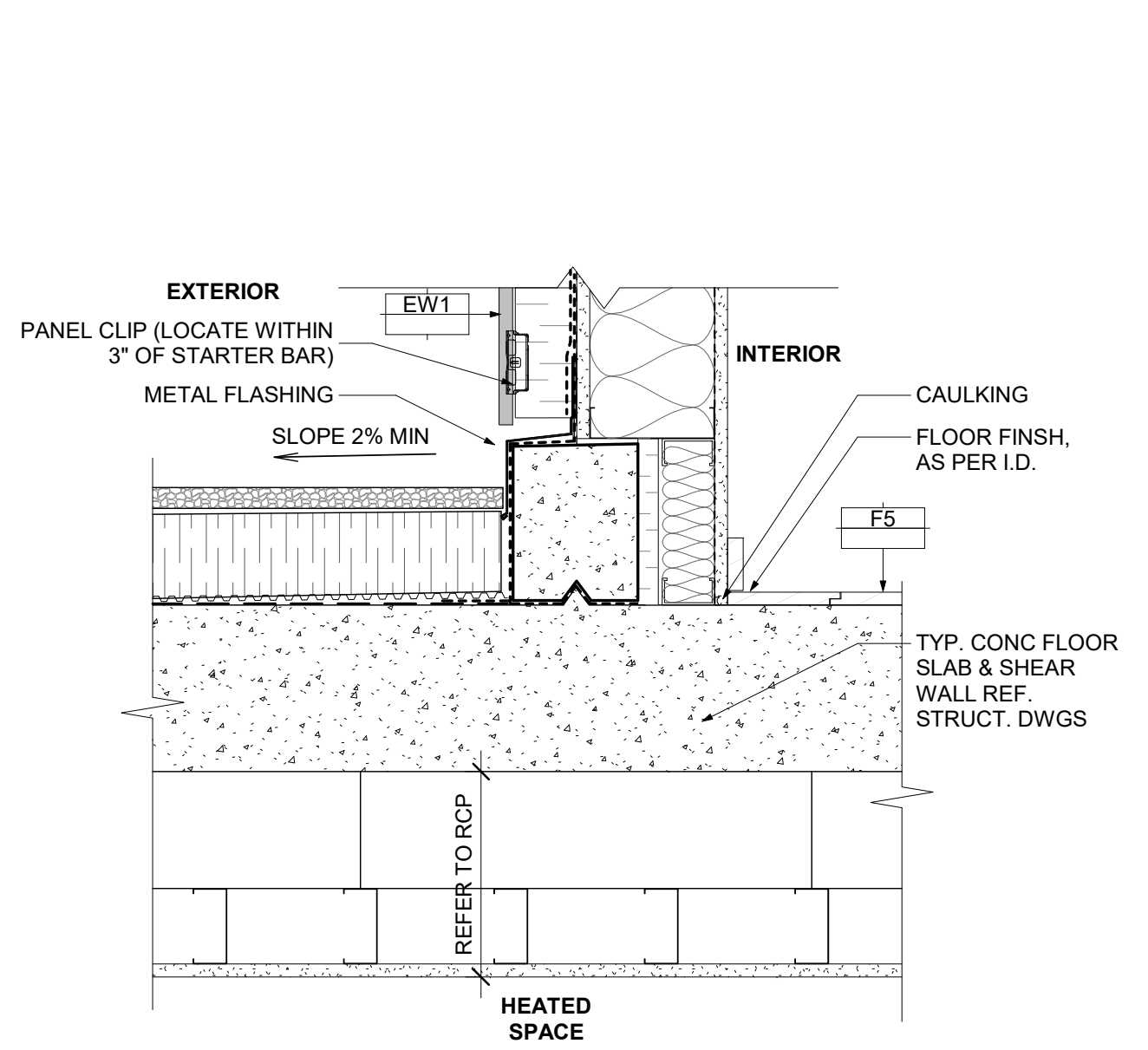
3 STONE AT GRADE
1 1/2" = 1'-0"



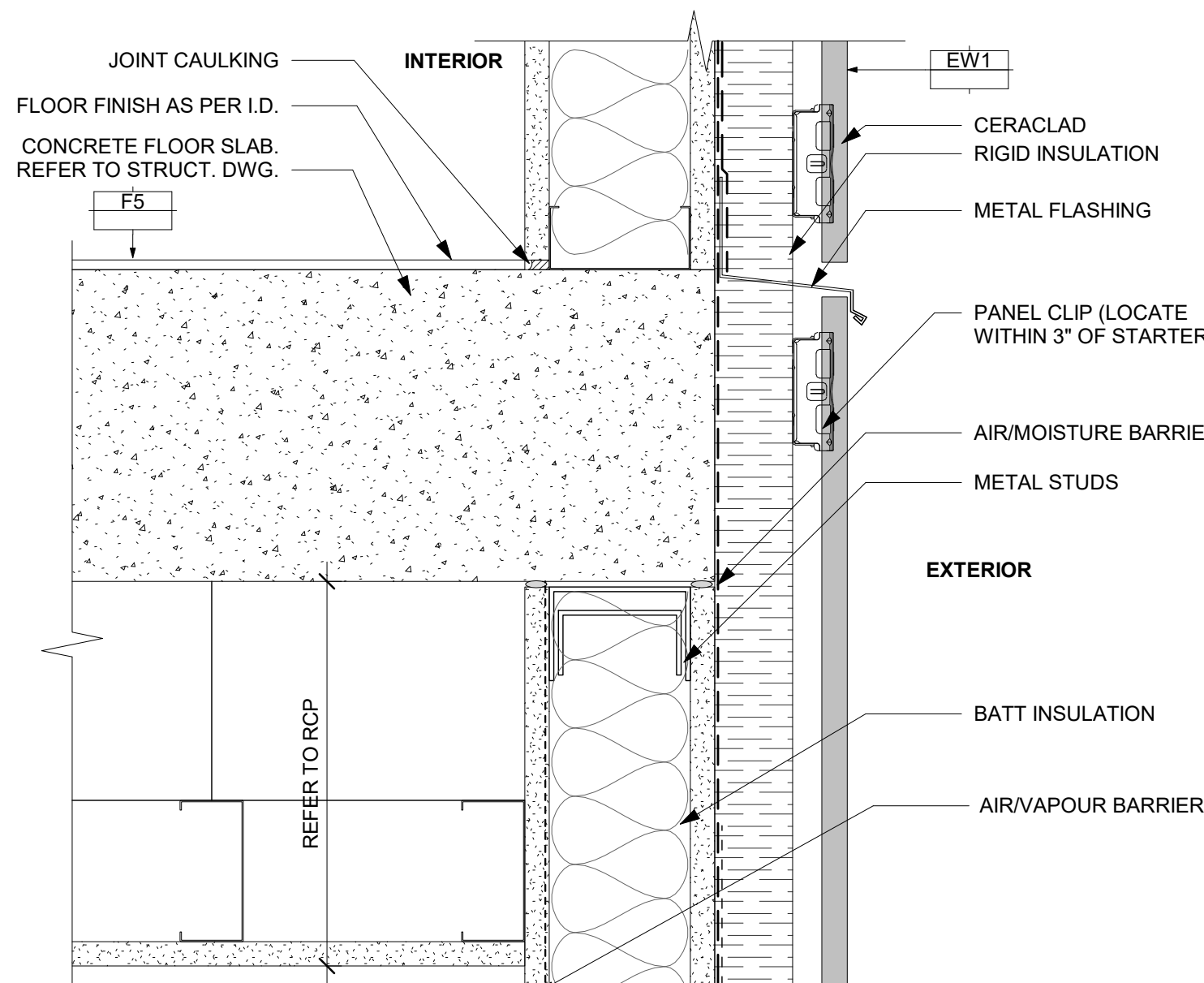
4 SWING DOOR AT GRADE WITH FLUSHED PAVER
1 1/2" = 1'-0"



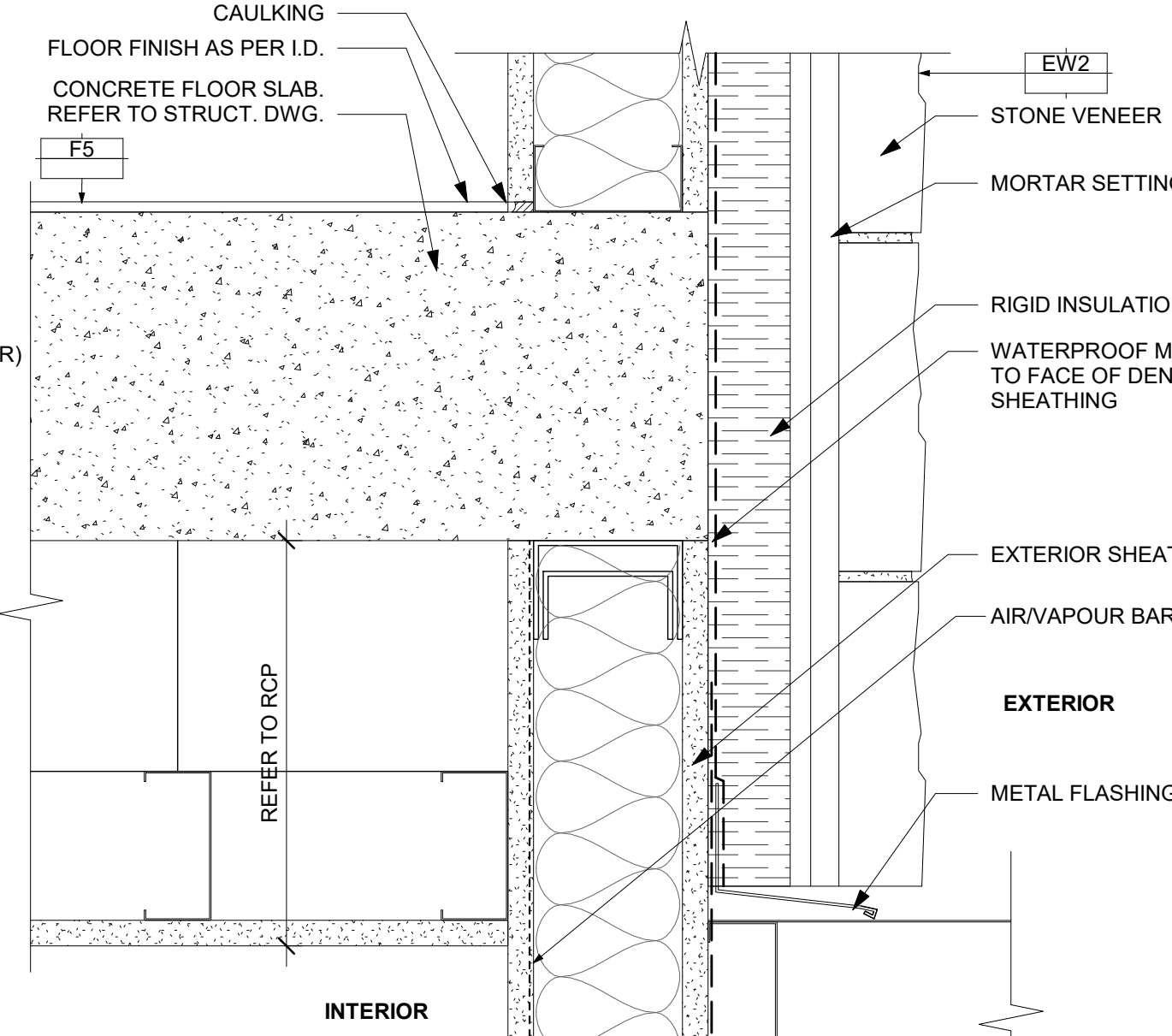
5 BATH - SHOWER TRAP SECTION
3" = 1'-0"



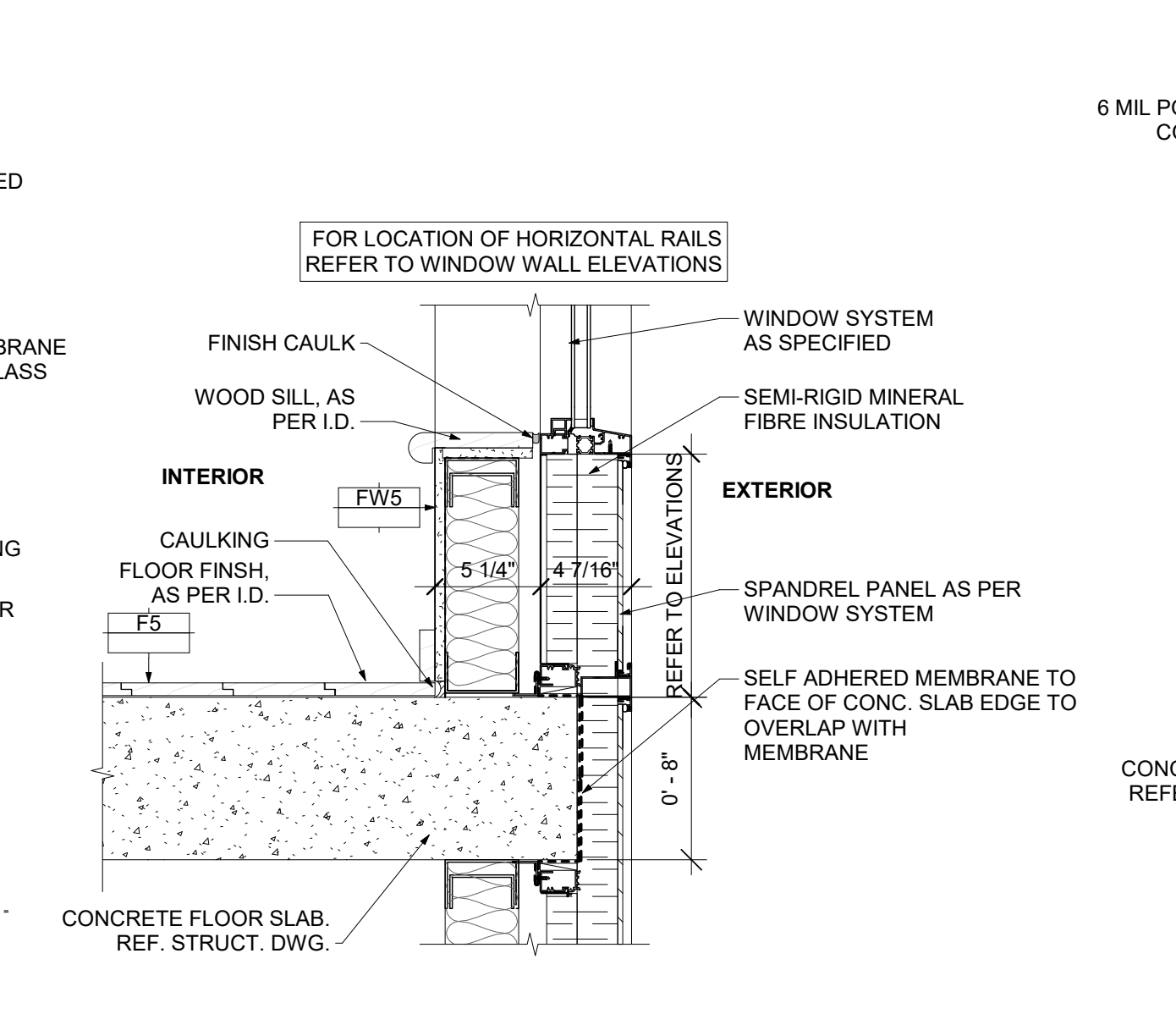
6 DECK & FLOOR
1 1/2" = 1'-0"



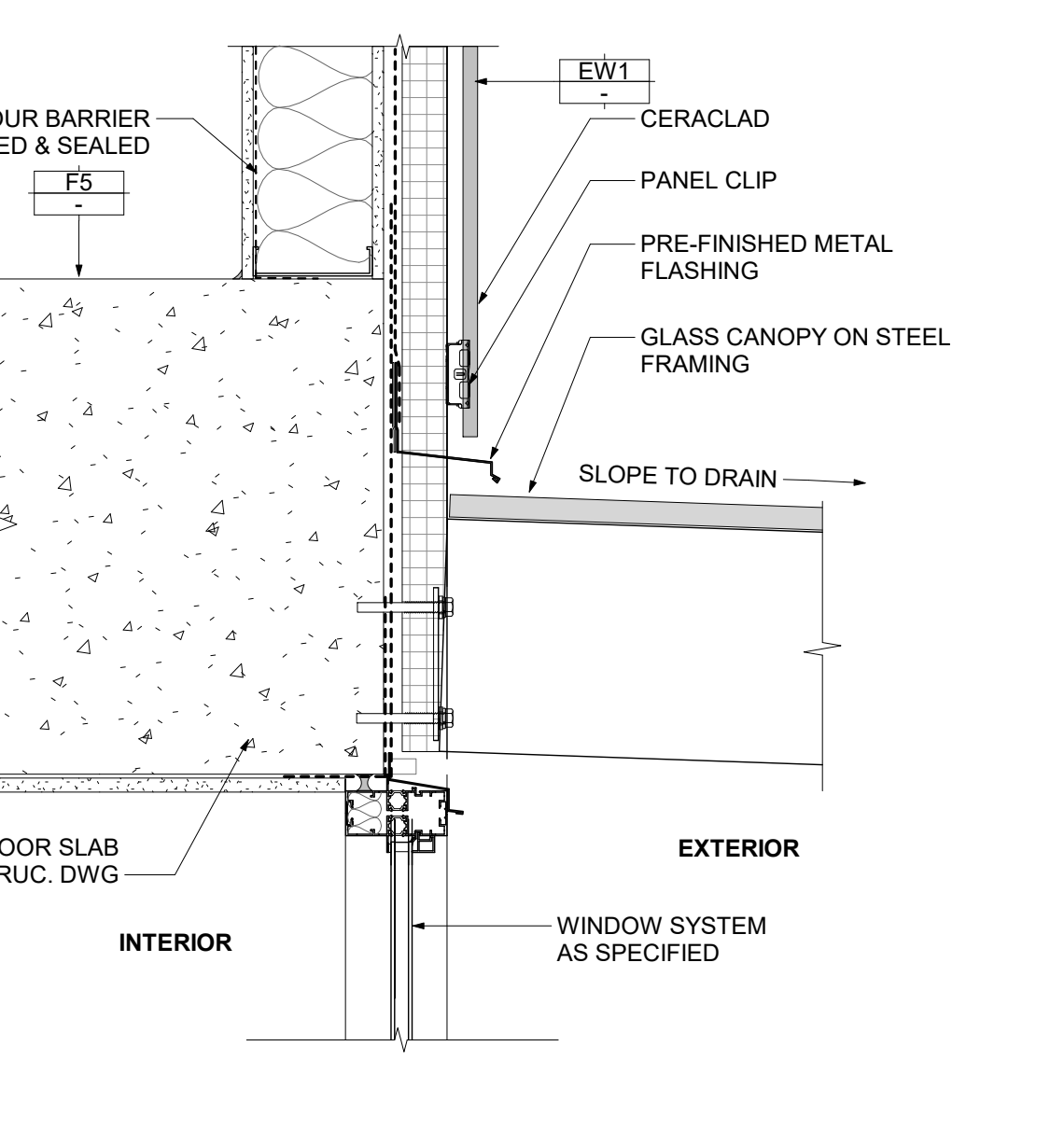
7 TYP. FLOOR TO EXT. WALL - CERACLAD
3" = 1'-0"



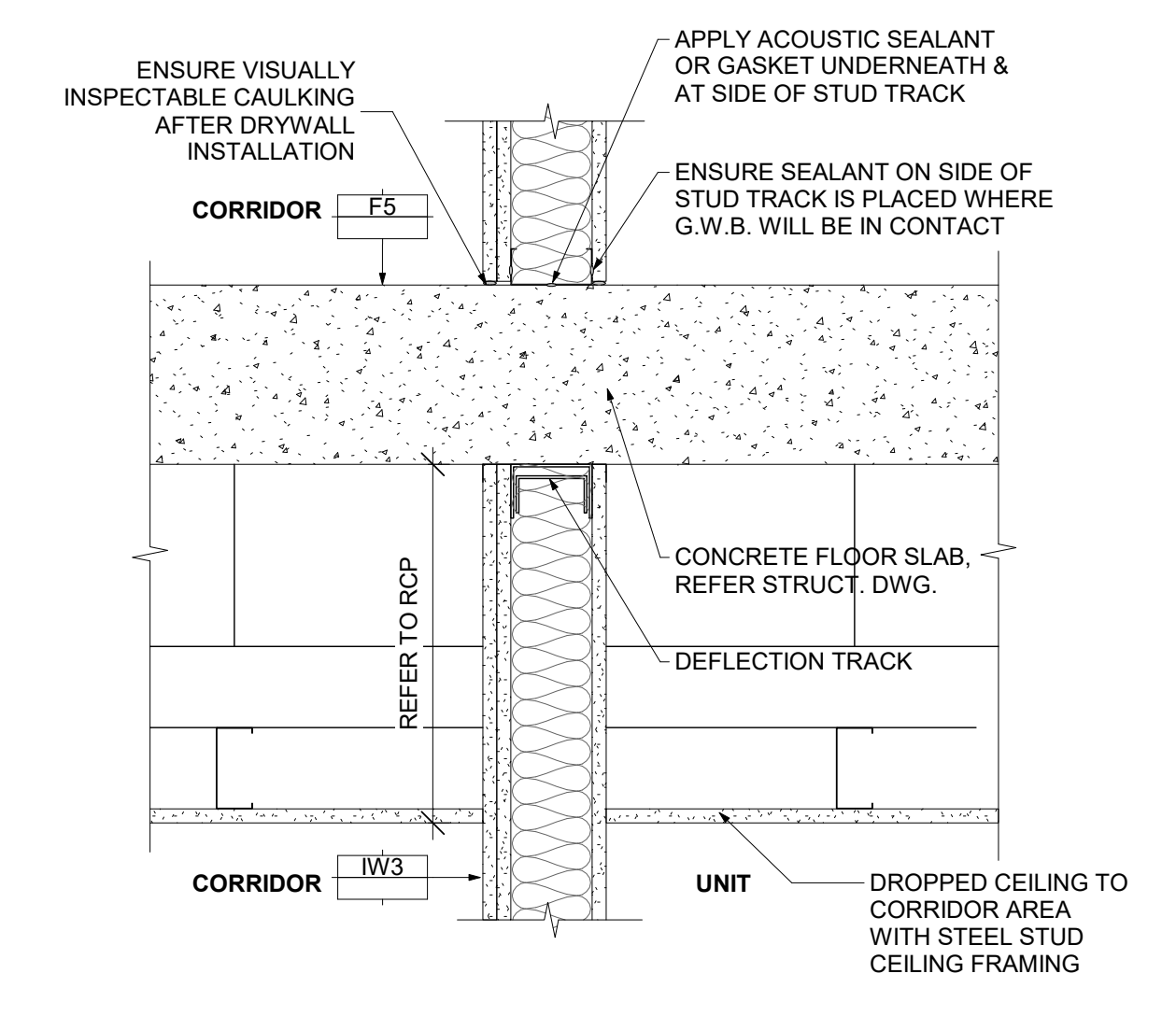
8 TYP. FLOOR TO EXT. WALL - STONE
3" = 1'-0"



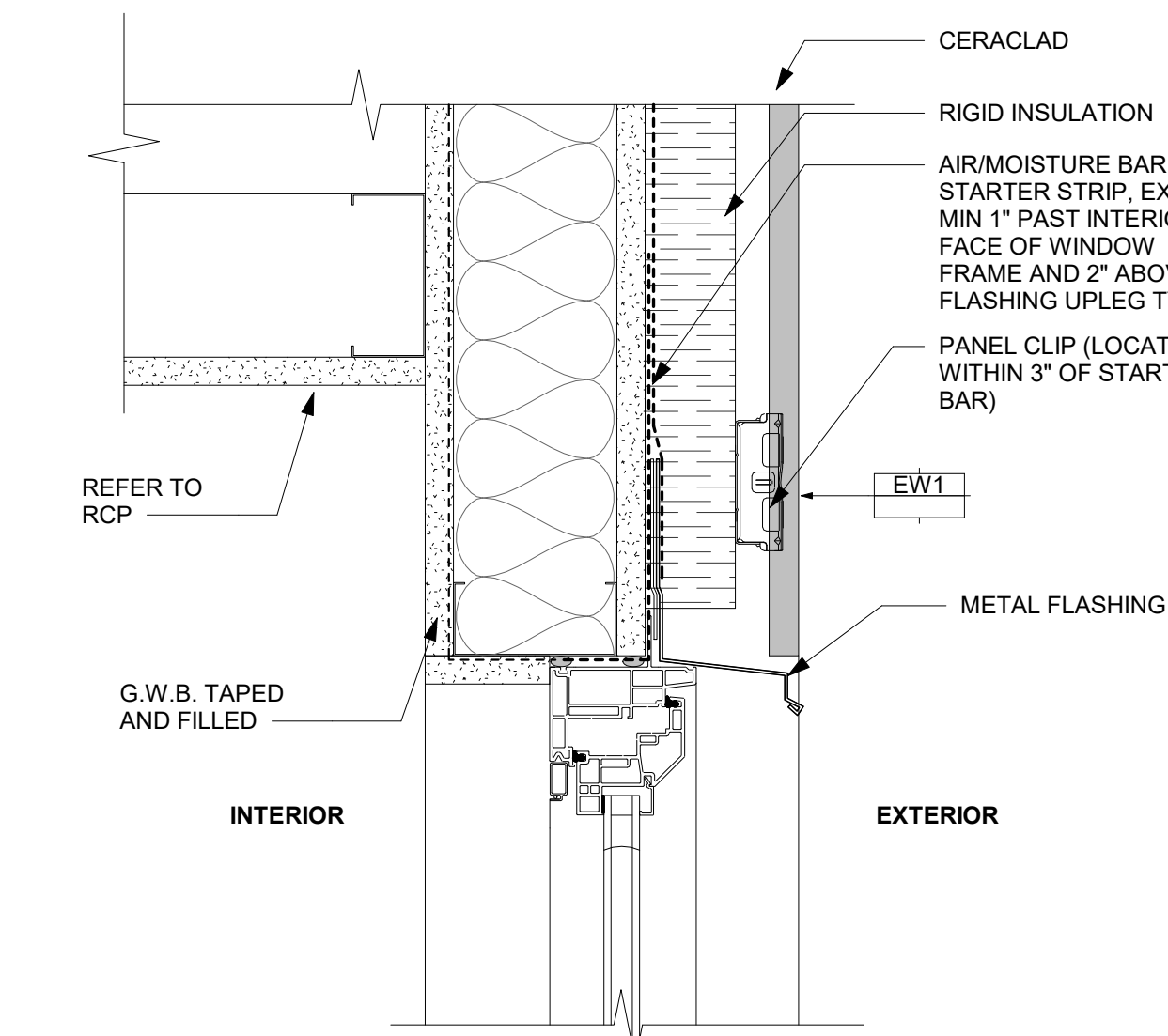
9 WINDOW WALL SPANDREL AT SLAB
1 1/2" = 1'-0"



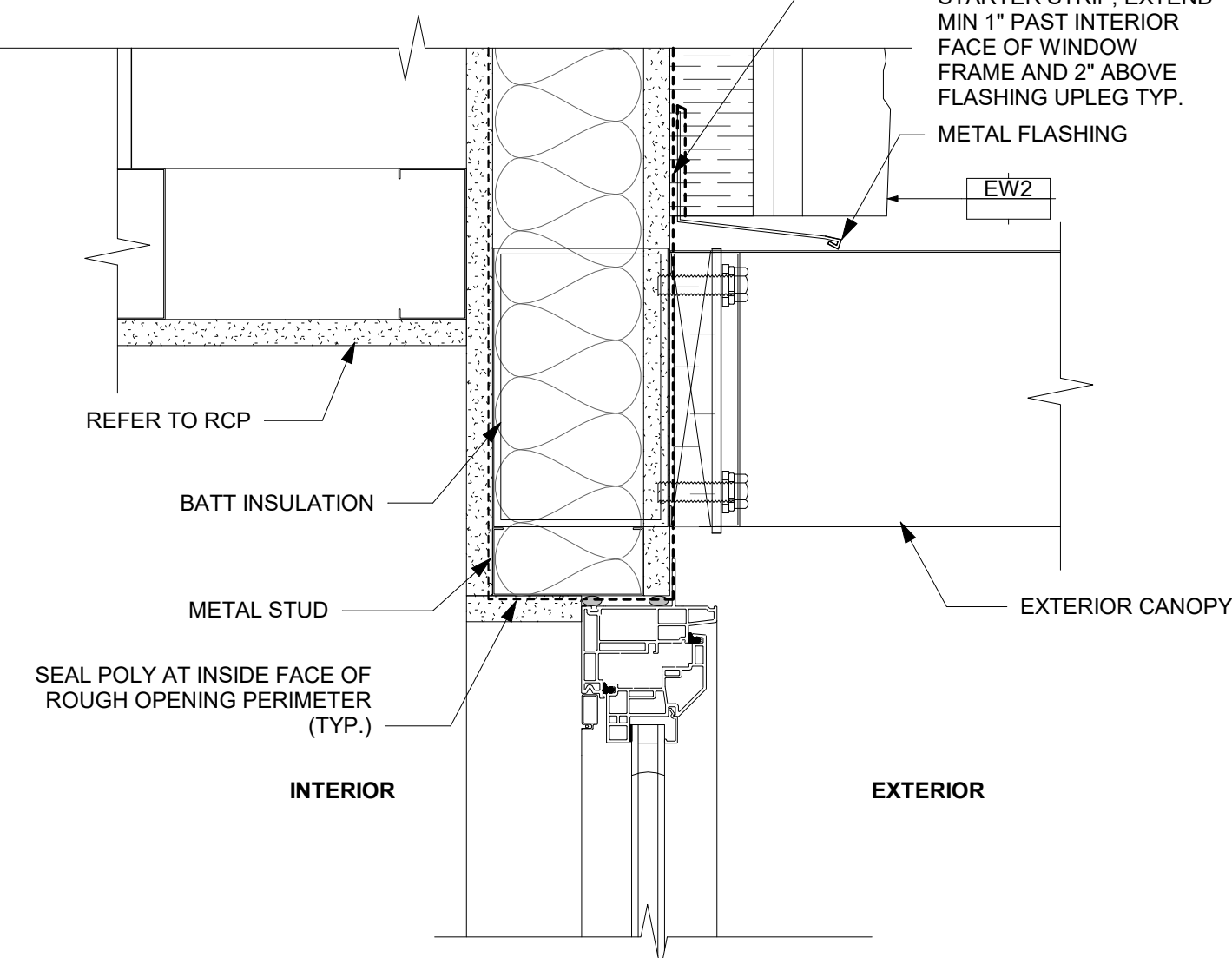
10 STEEL GLASS ENTRY CANOPY
1 1/2" = 1'-0"



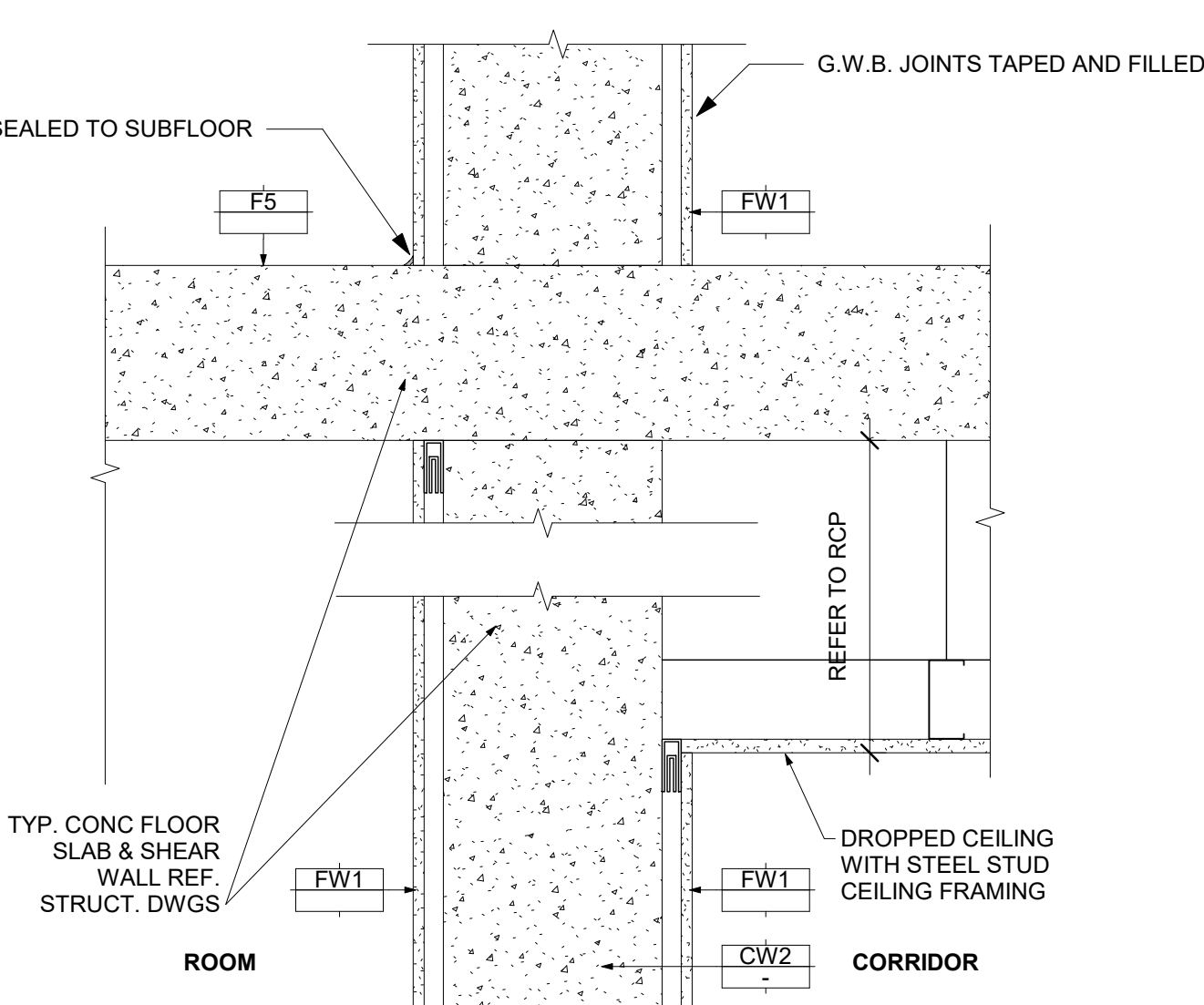
11 CORRIDOR WALL AT TYPICAL FLOOR
1 1/2" = 1'-0"



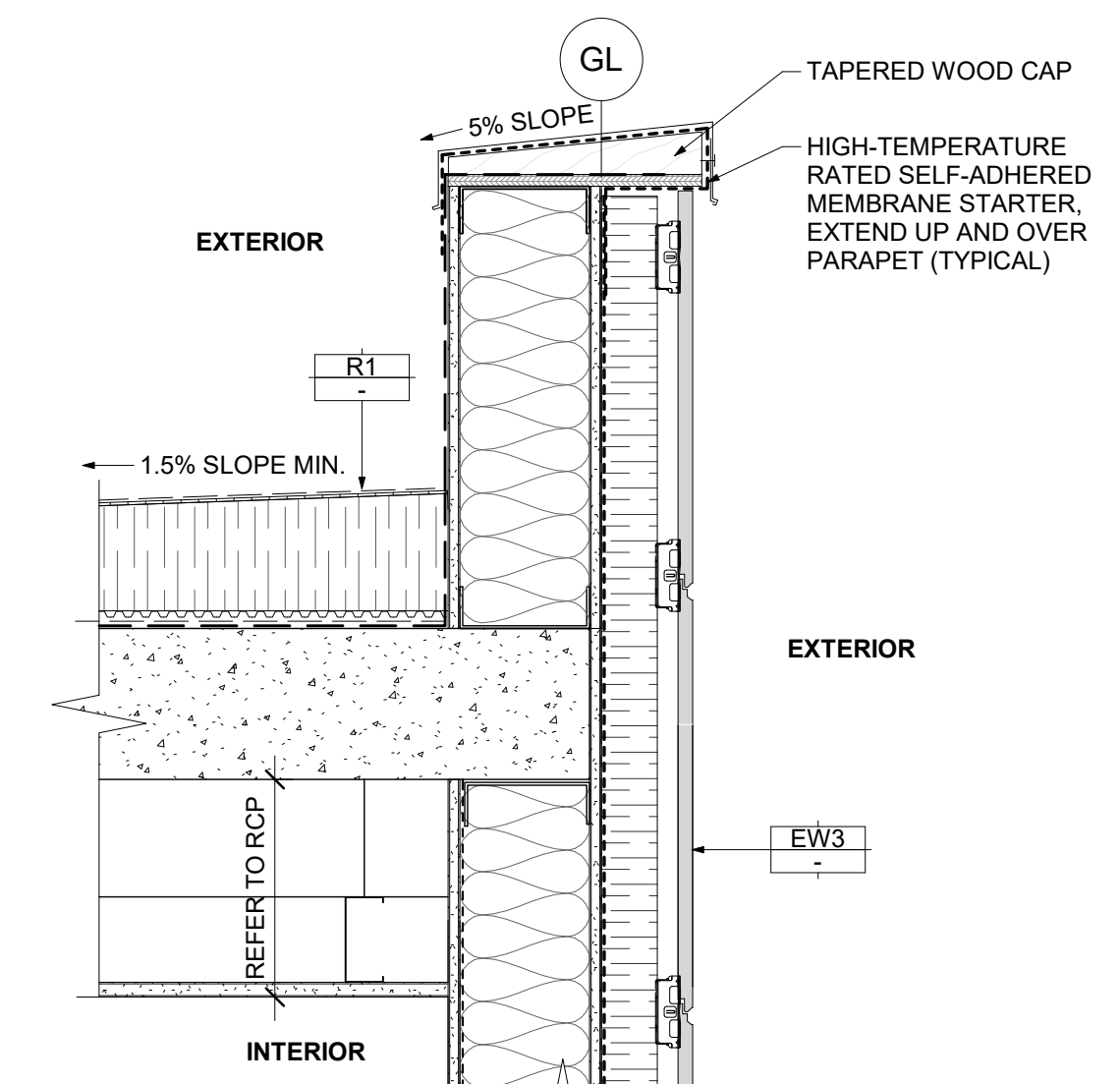
12 TYP. WINDOW HEAD - CERACLAD
3" = 1'-0"



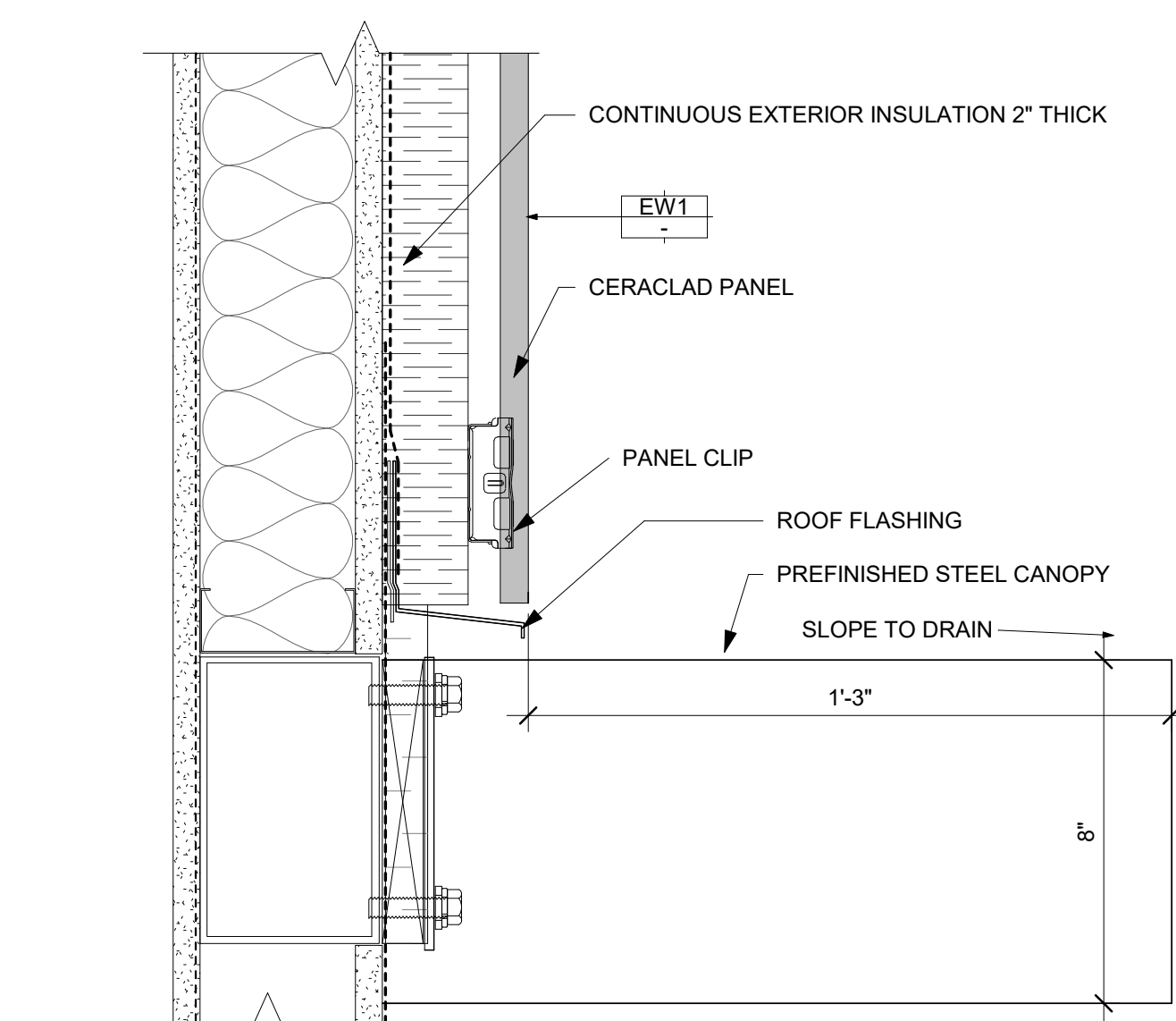
13 TYP. WINDOW HEAD - STONE
3" = 1'-0"



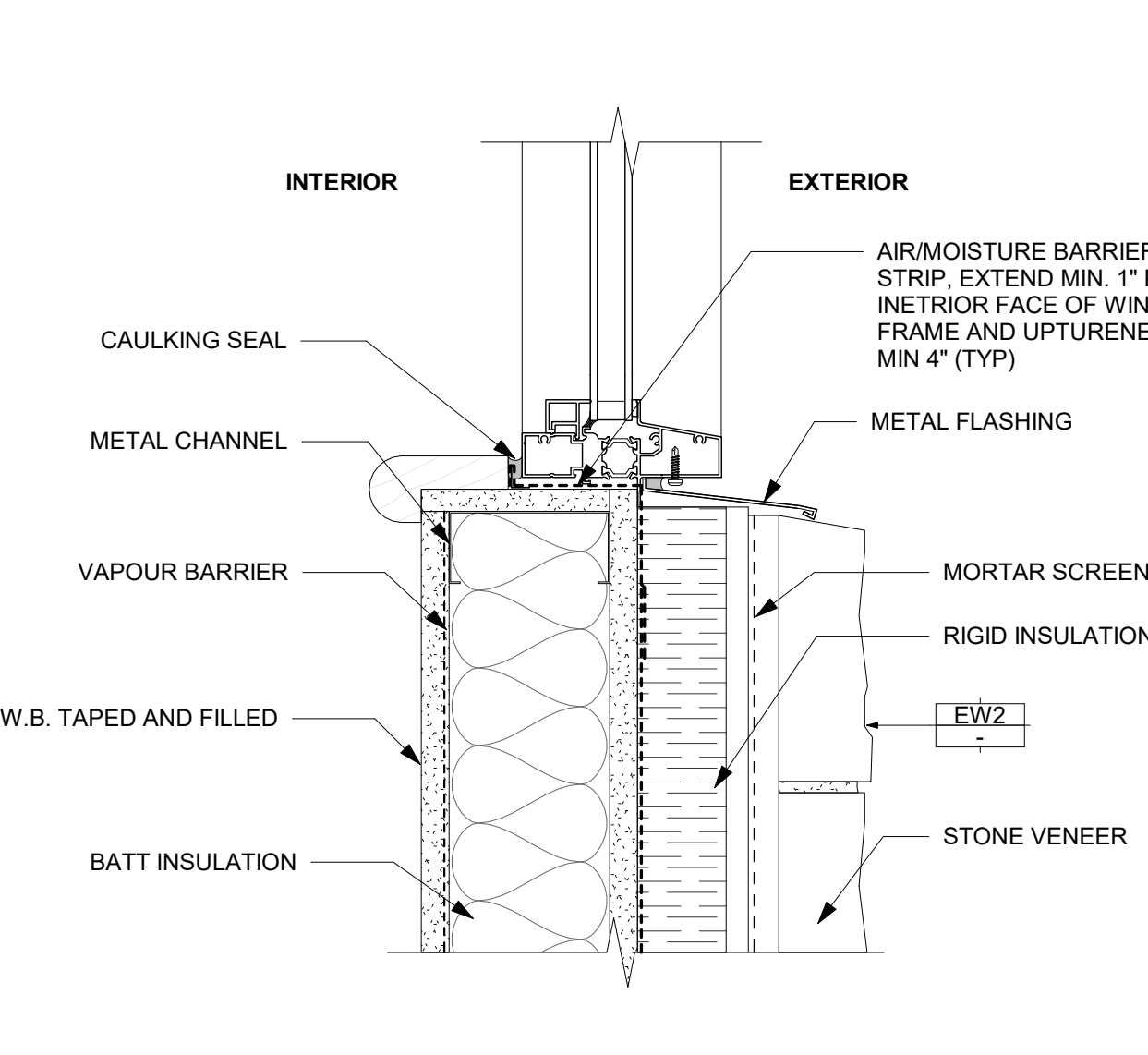
14 CONC. SHEAR WALL & DROPPED CEILING AT CORRIDOR
1 1/2" = 1'-0"



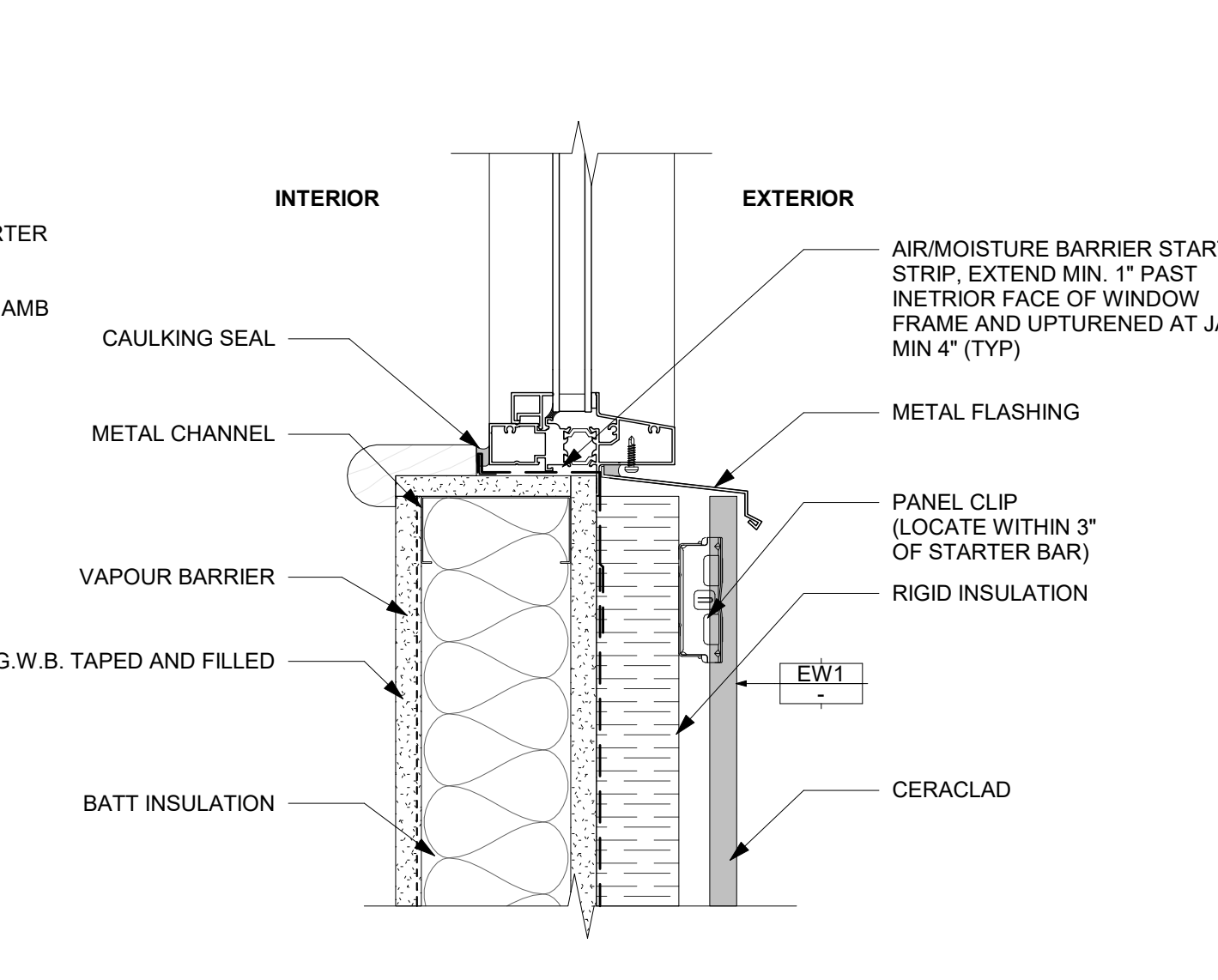
15 PARAPET WALL TO DECK
1 1/2" = 1'-0"



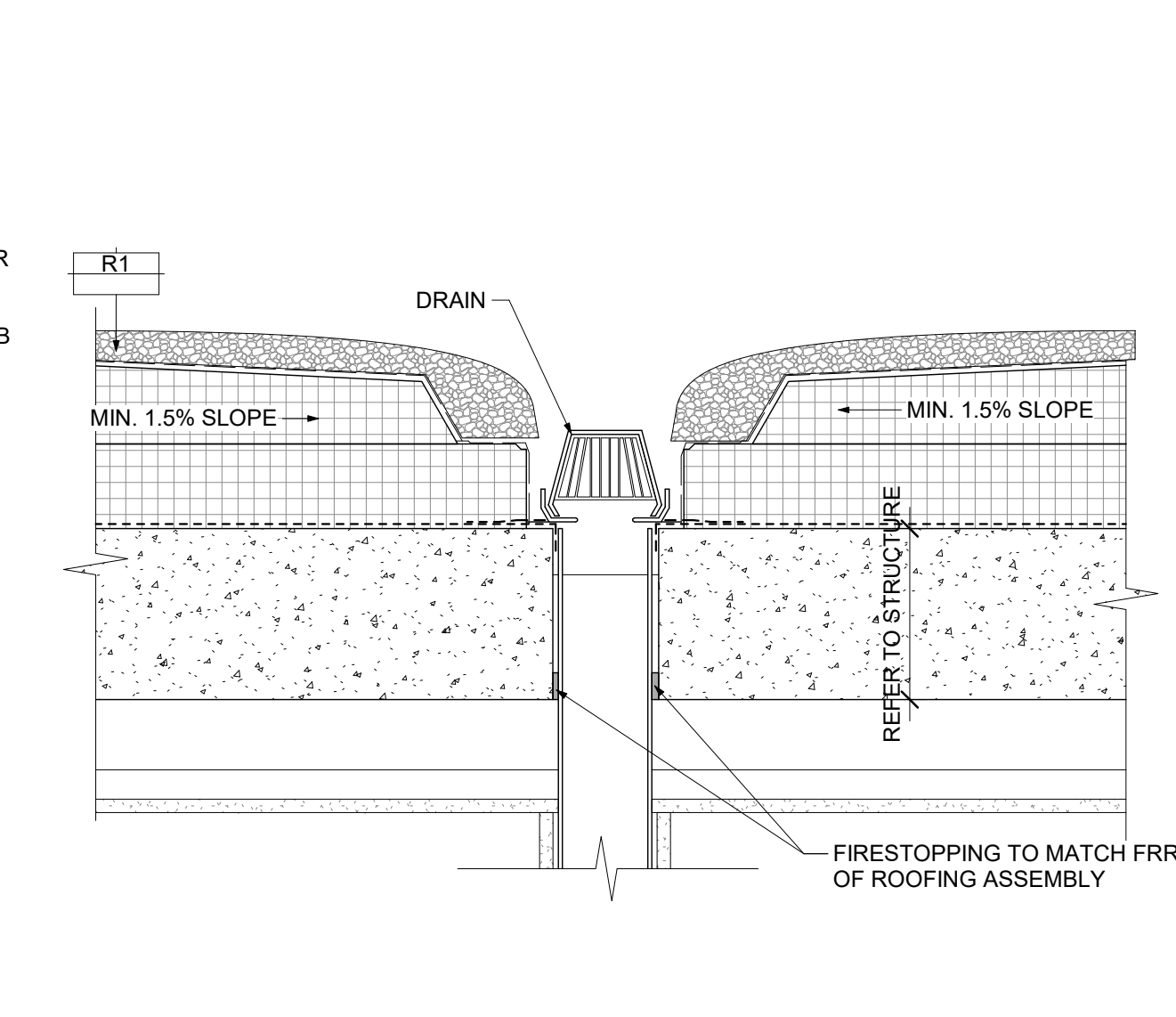
16 EYEBROW CANOPY
3" = 1'-0"



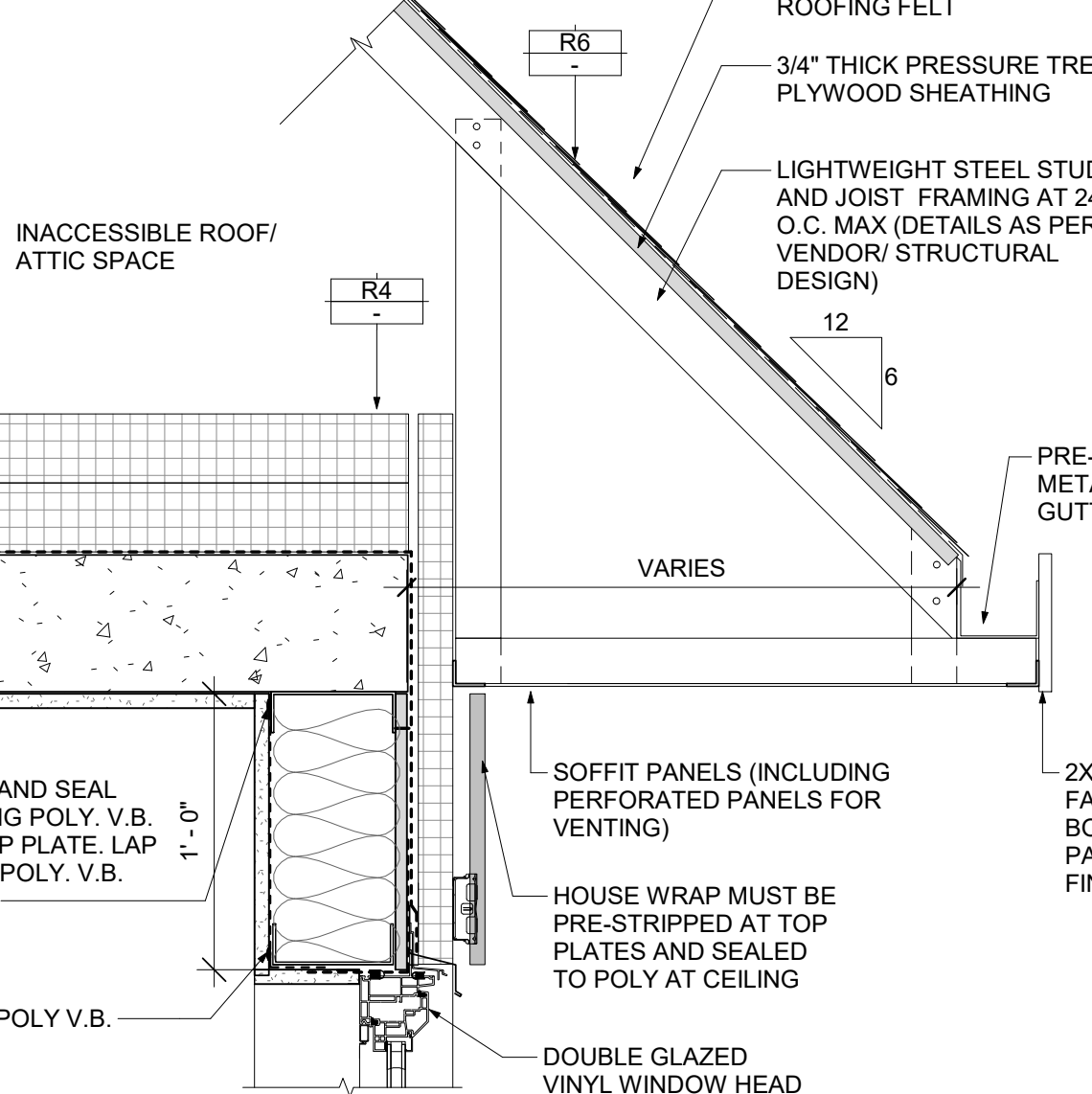
17 TYP. WINDOW SILL - STONE
3" = 1'-0"



18 TYP. WINDOW SILL - CERACLAD
3" = 1'-0"



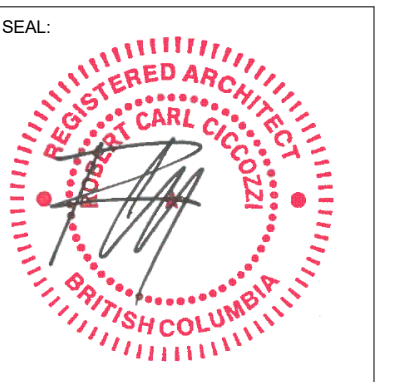
19 TYPICAL ROOF DRAIN
1 1/2" = 1'-0"



20 SLOPING ROOF DETAIL
1 1/2" = 1'-0"

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REVISION:		
NO.	DATE	DESCRIPTION
ISSUE:		
DATE	DESCRIPTION	
05/12/2022	ISSUED FOR BUILDING PERMIT	



CICCOZZI
ARCHITECTURE

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741

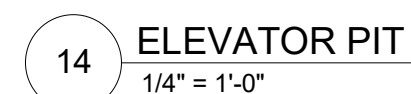
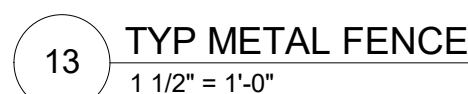
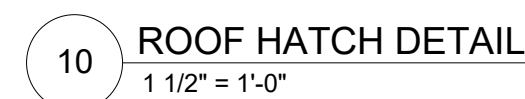
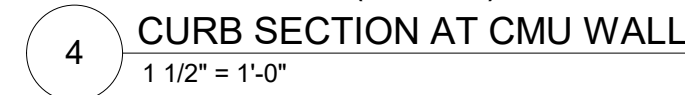
PROJECT:
GURU NANAK DIVERSITY VILLAGE
6471 175A STREET
SURREY, BC

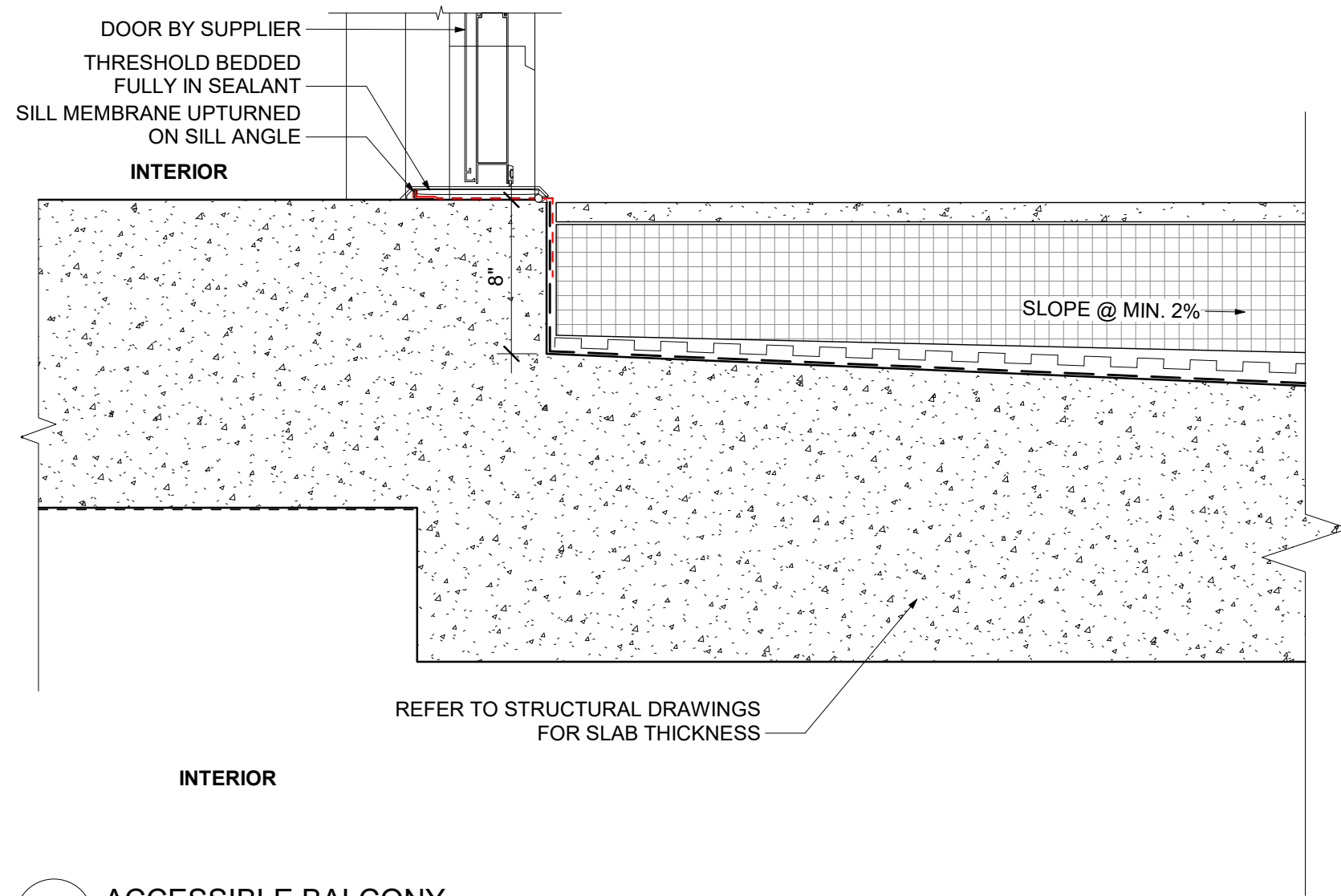
DRAWN BY: RP	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638

SHEET TITLE:
SECTION DETAILS

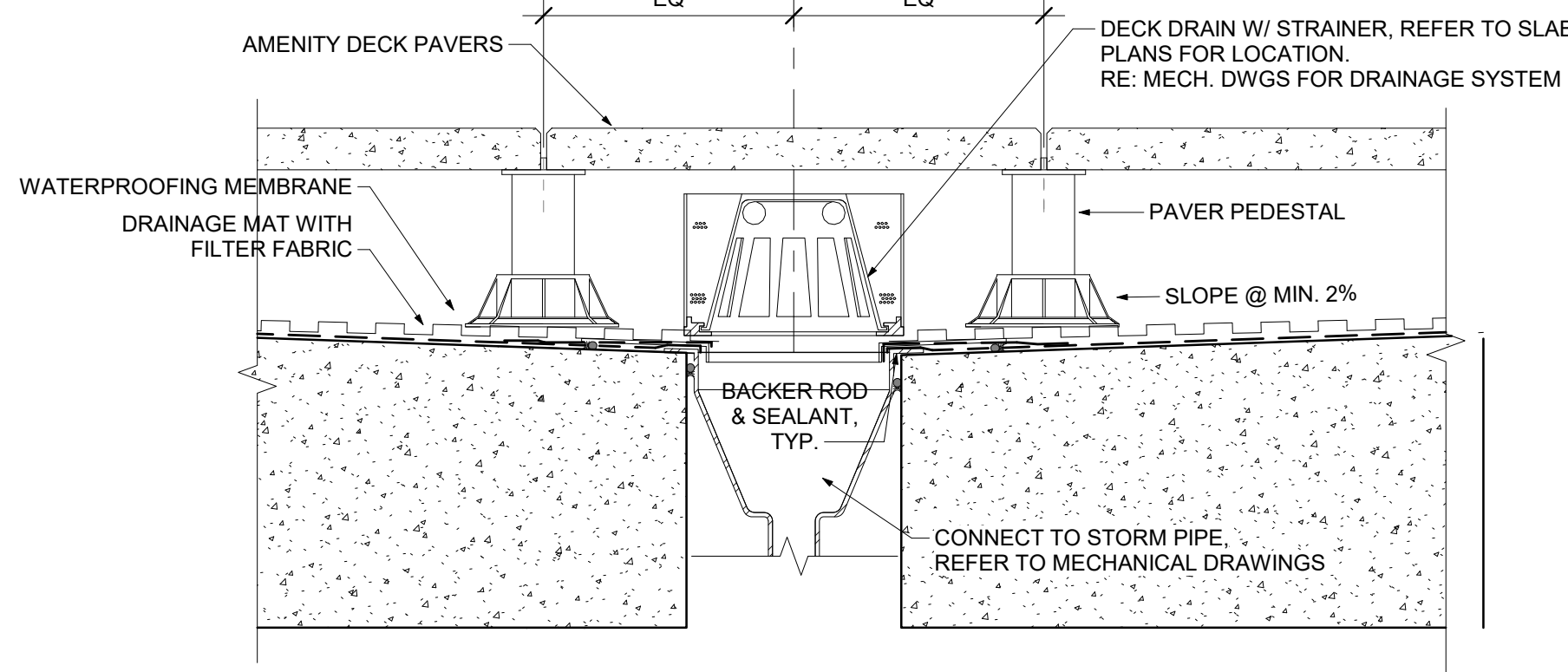
REV. NO.:
SHEET NO.:
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REVISION:		
NO.:	DATE:	DESCRIPTION:
ISSUE:		
DATE:	DESCRIPTION:	
05/12/2022	ISSUED FOR BUILDING PERMIT	

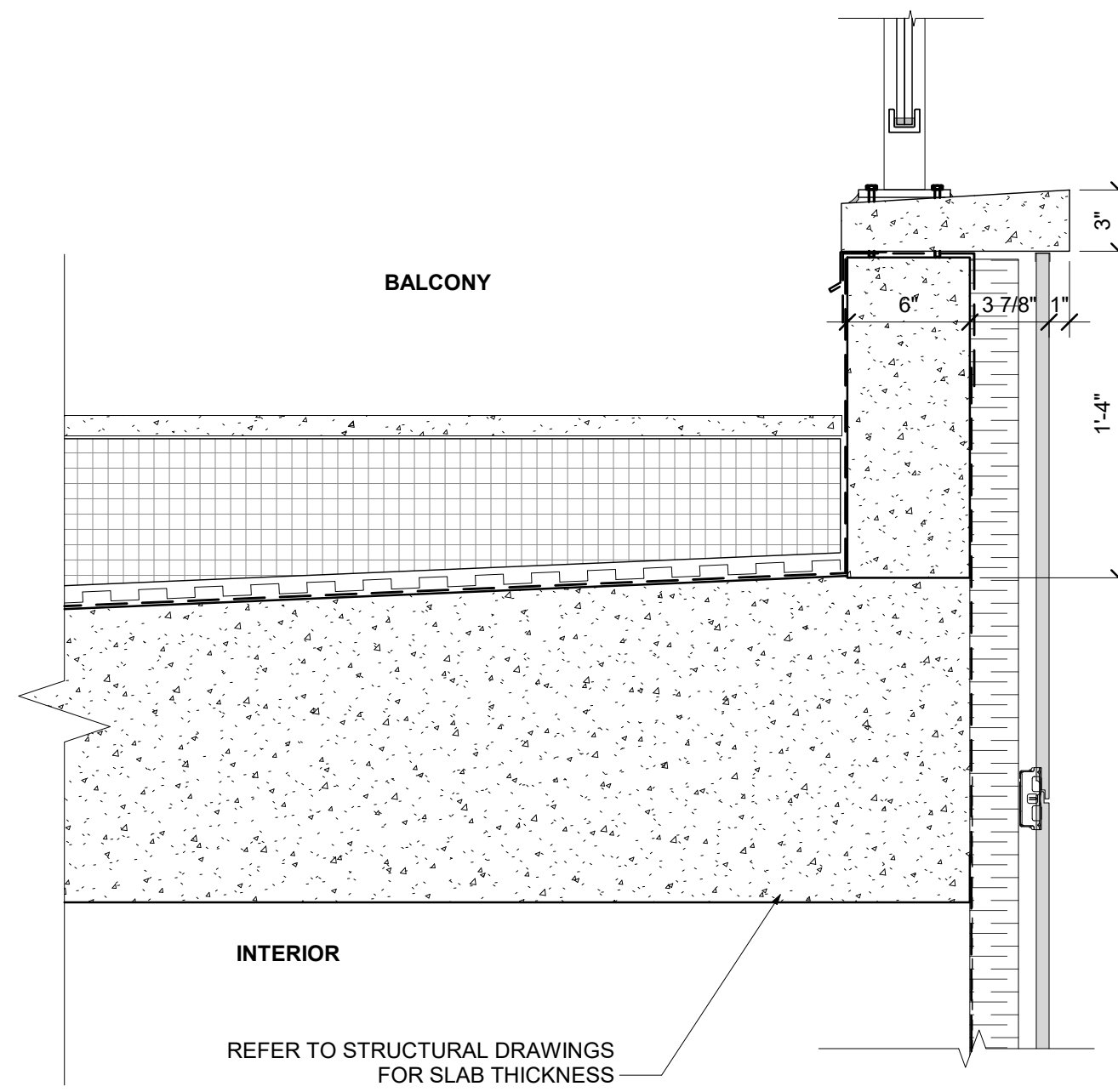




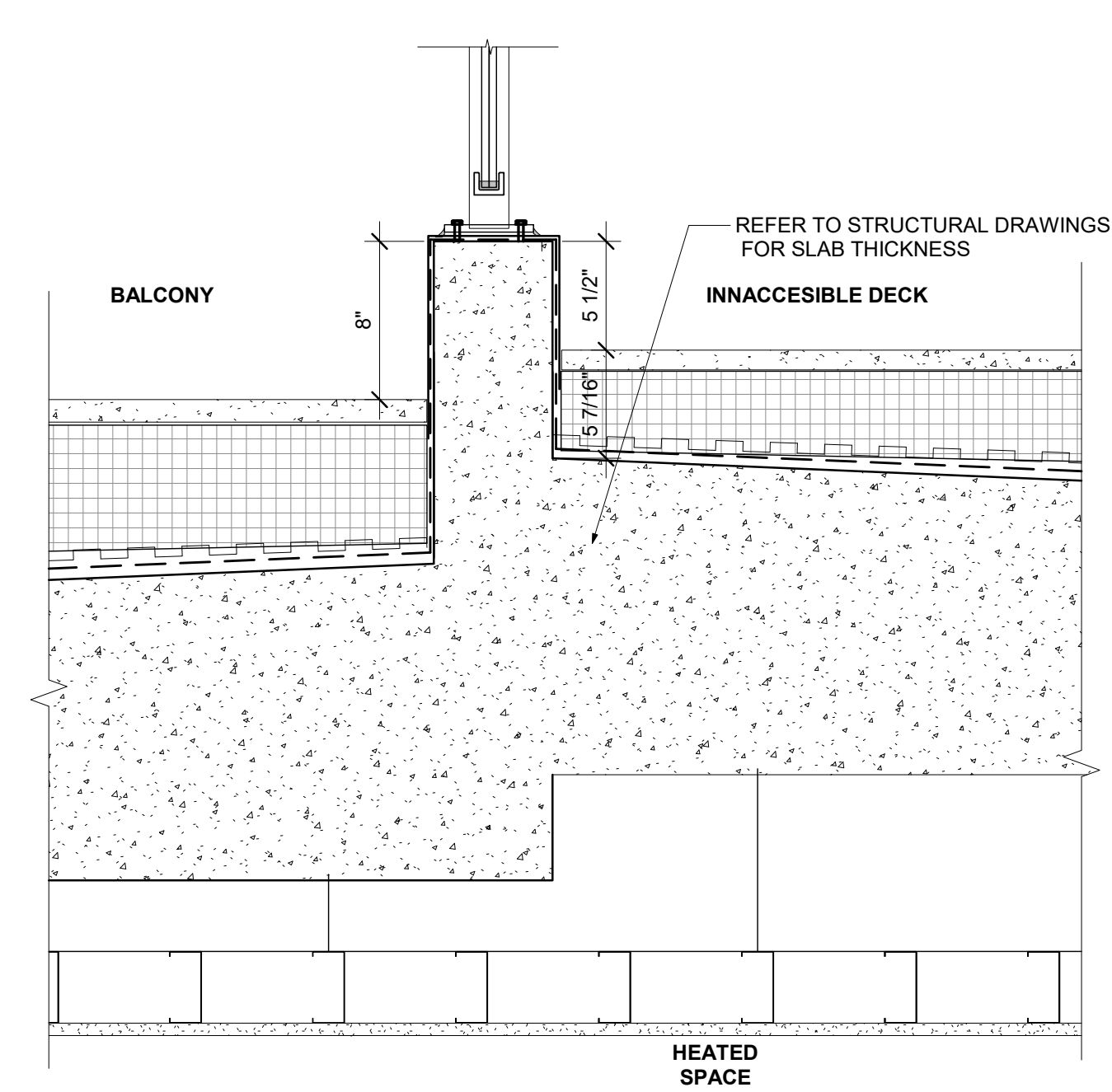
1 ACCESSIBLE BALCONY
1 1/2" = 1'-0"



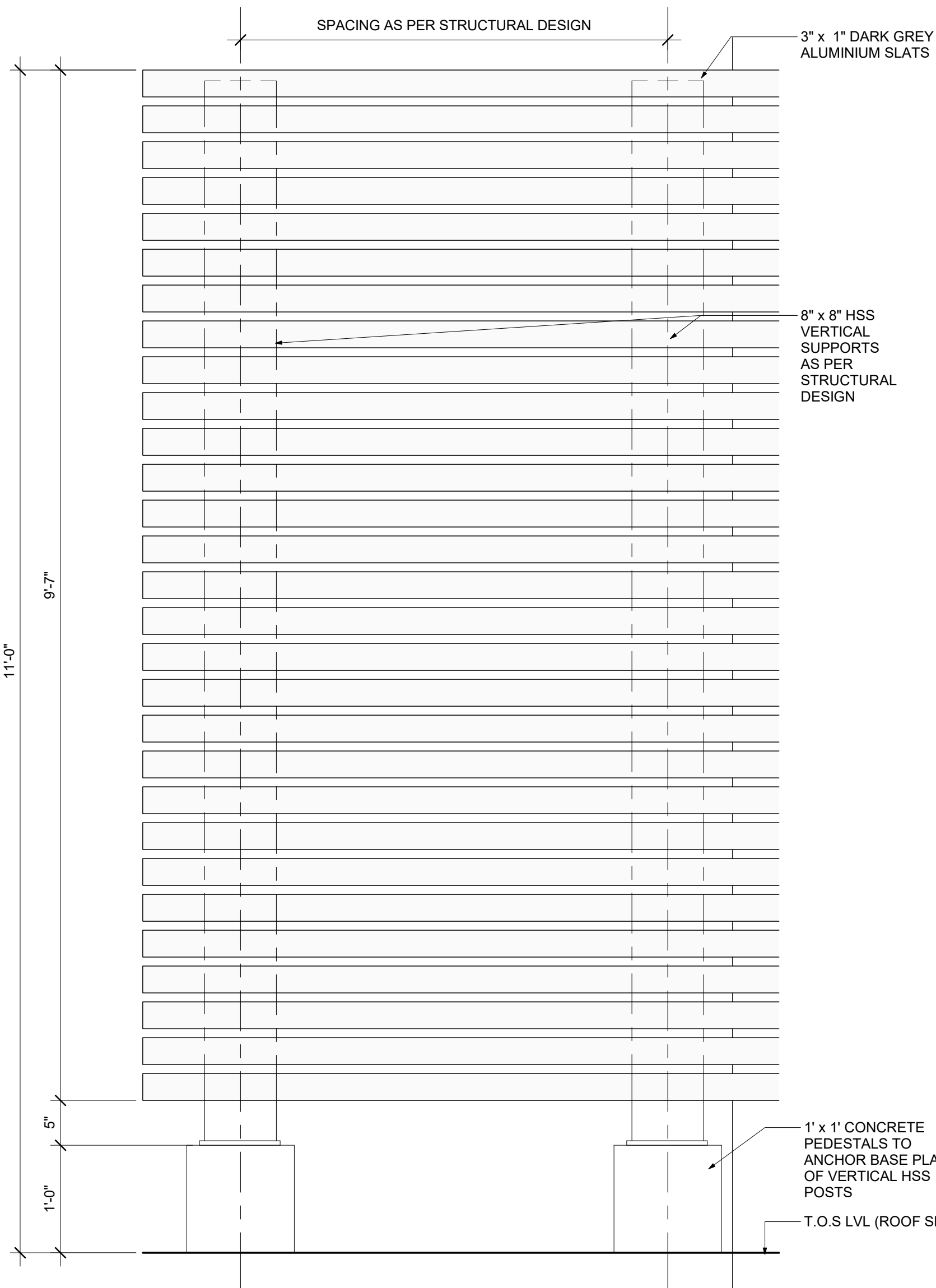
2 TYP. BALCONY DRAIN
1 1/2" = 1'-0"



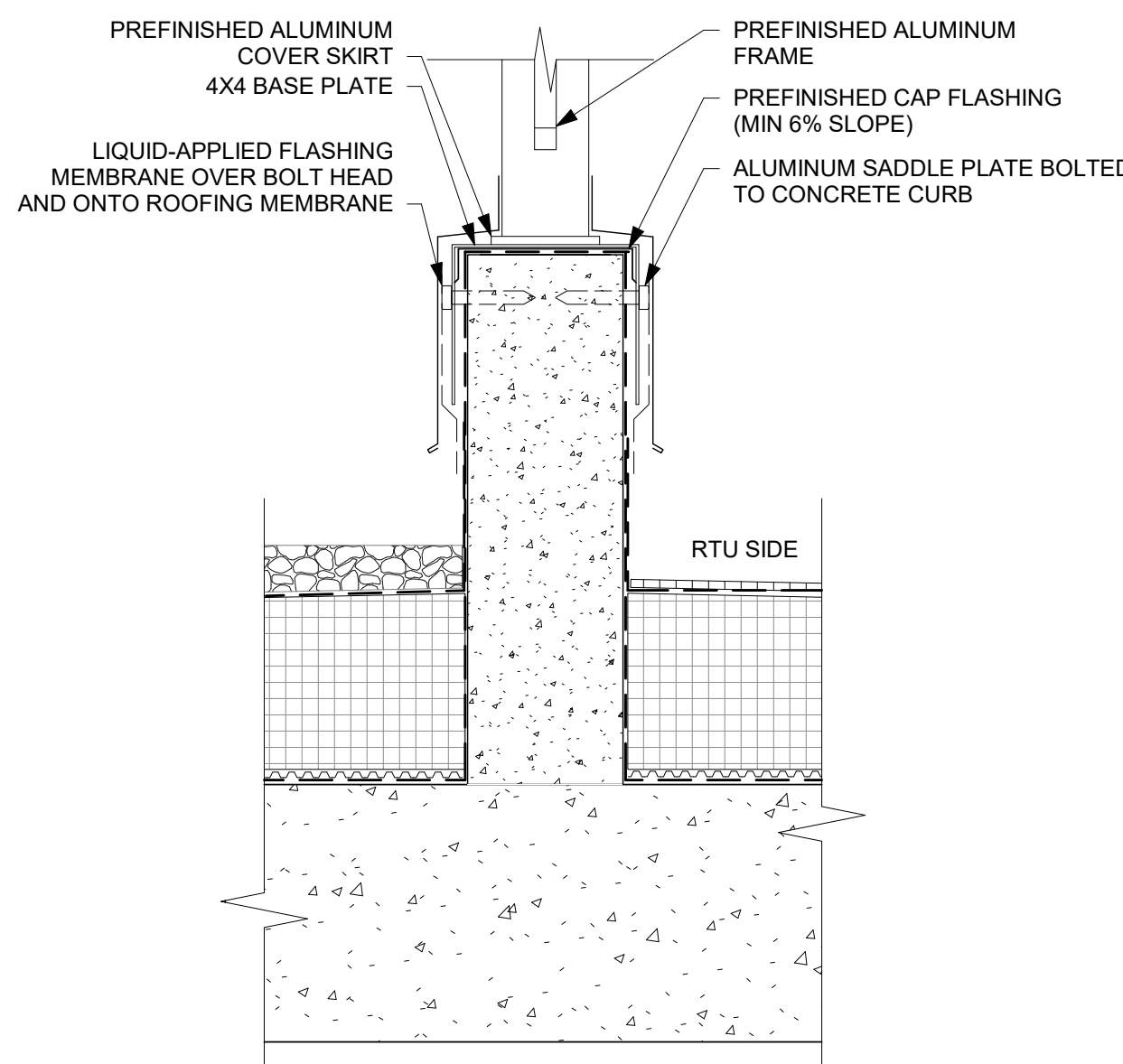
3 BALCONY AND EXTERIOR WALL
1 1/2" = 1'-0"



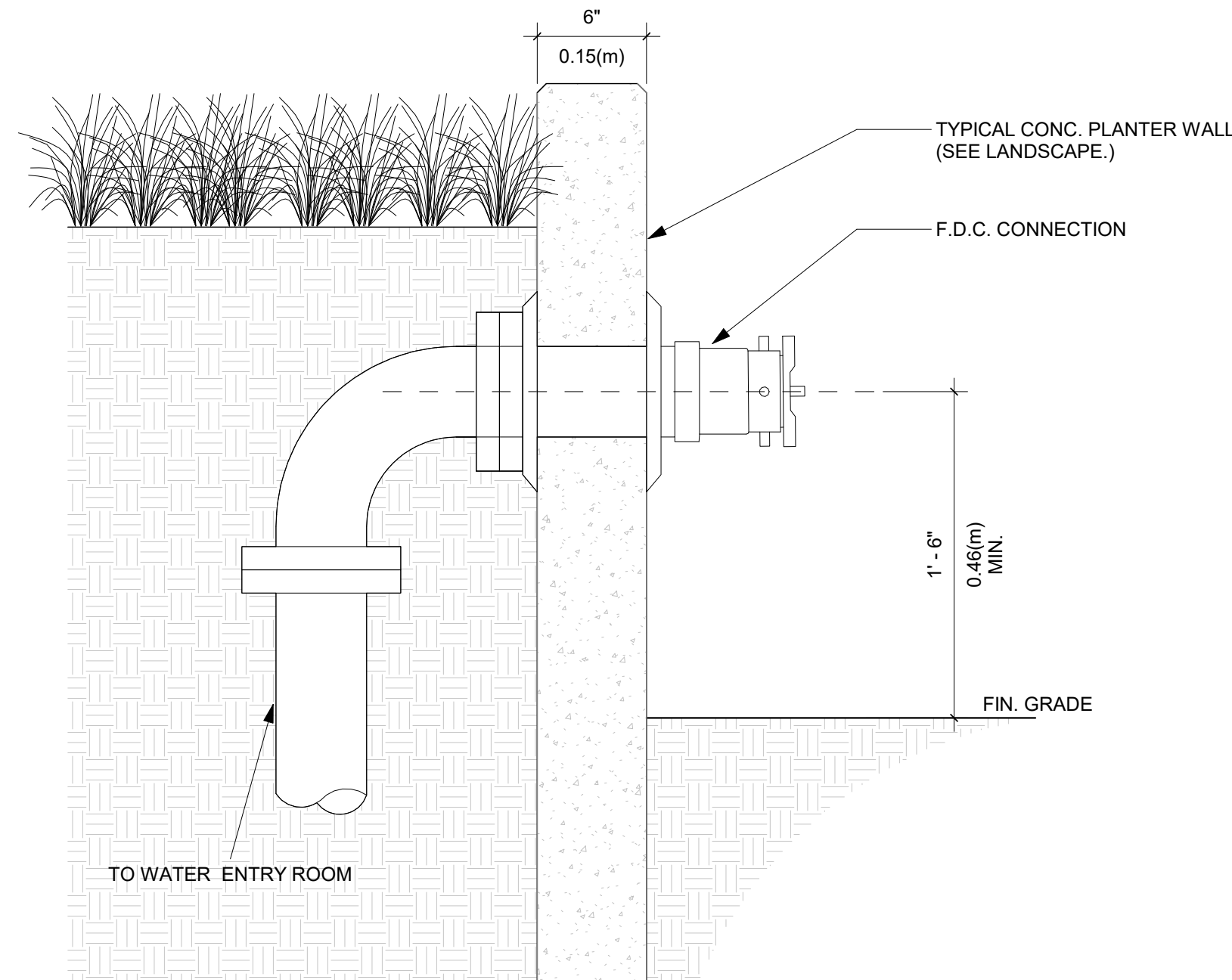
4 BALCONY OVER HEATED SPACE AND INACCESSIBLE ROOF JUNCTION
1 1/2" = 1'-0"



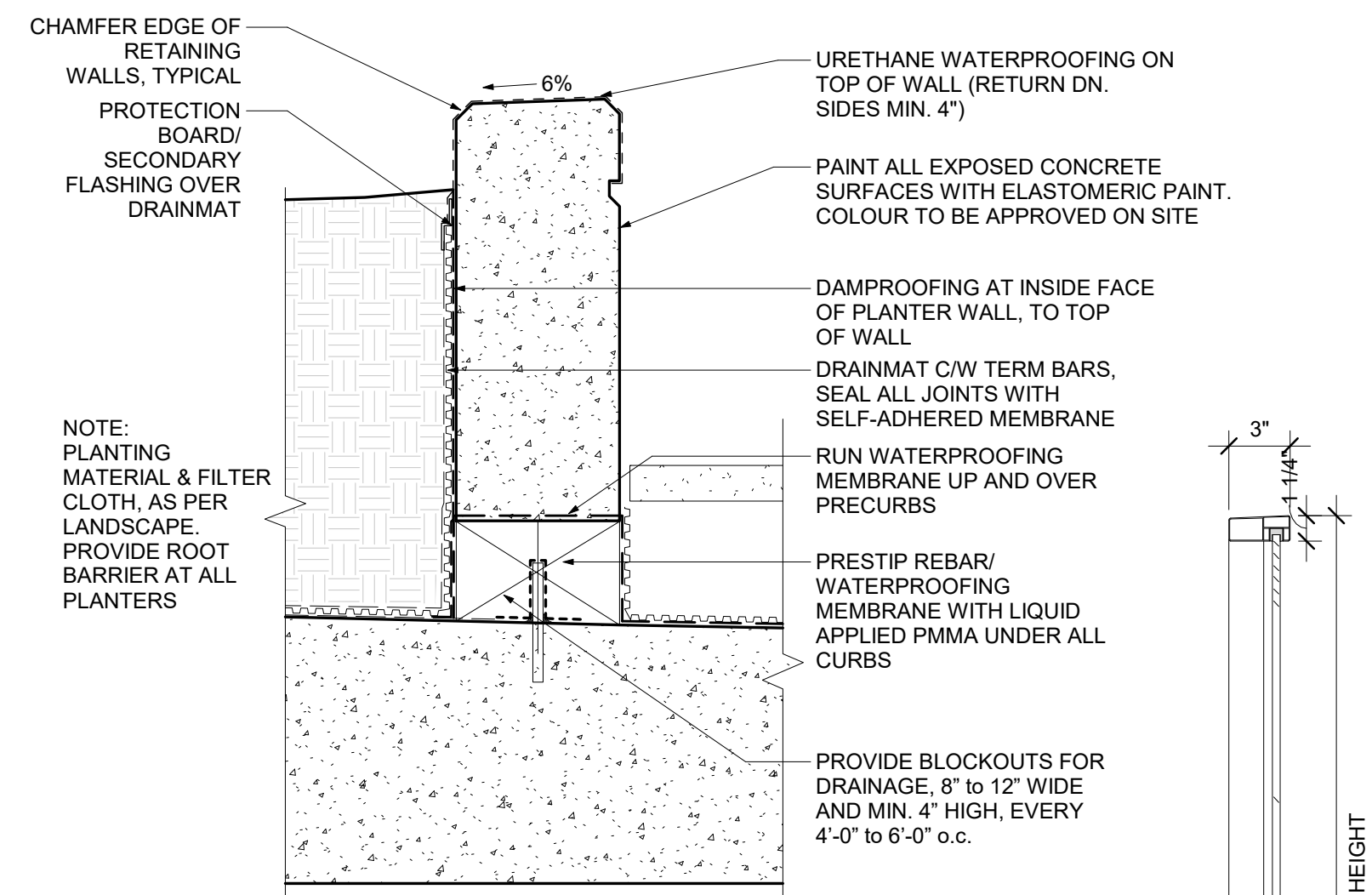
6 ROOF MECHANICAL SCREEN
1" = 1'-0"



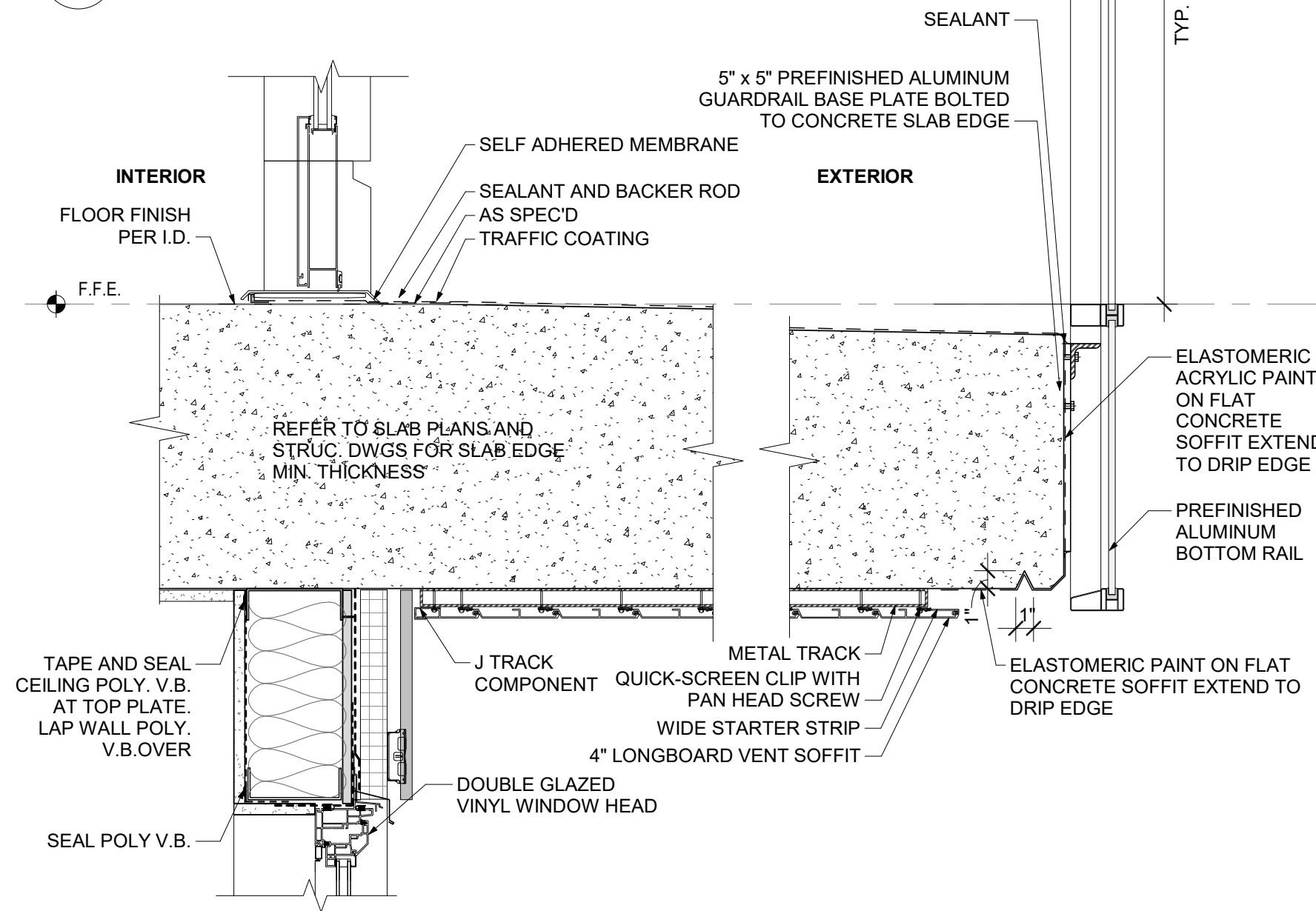
7 MECHANICAL UNIT SCREEN CURB DETAIL
1 1/2" = 1'-0"



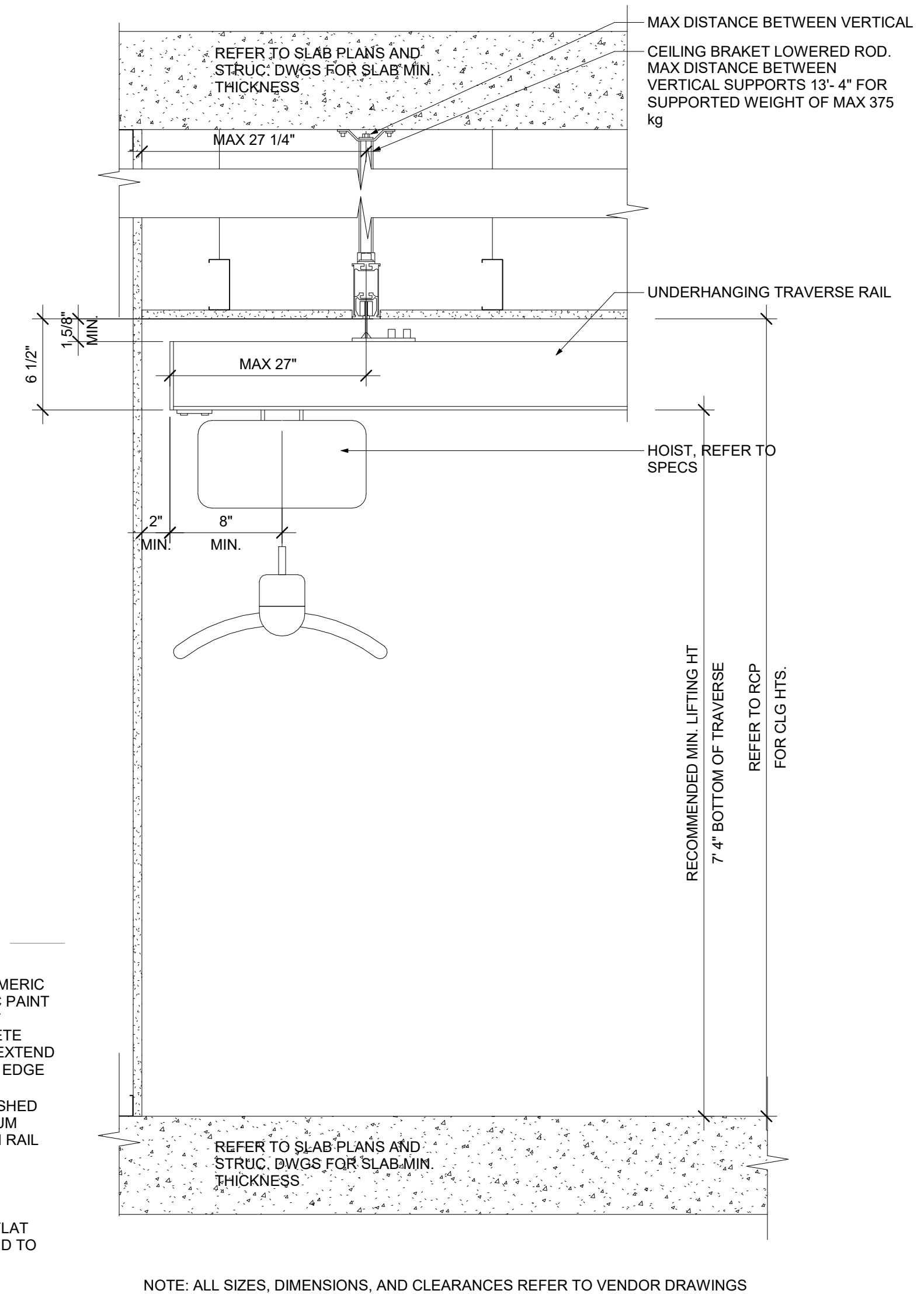
9 A8.1 EXAMPLE FIRE DEP. CONNECTION DETAIL
1 1/2" = 1'-0"



8 CONCRETE UPSTAND AT PLANTER
1 1/2" = 1'-0"



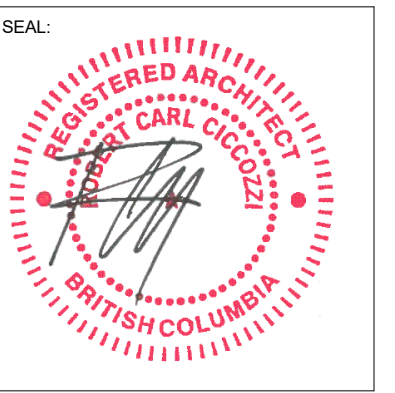
5 BALCONY OVER UNHEATED SPACE
1 1/2" = 1'-0"



10 XY GANTRY CEILING LIFT
1 1/2" = 1'-0"

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REVISION:		DESCRIPTION:
NO.	DATE:	
ISSUE:		DESCRIPTION:
DATE:		
05/12/2022		ISSUED FOR BUILDING PERMIT



CICOZZI
ARCHITECTURE

15th FLOOR
1095 WEST PENDER STREET
VANCOUVER, B.C.
CANADA V6E 2M6
TEL: 604 687-4741



PROJECT:

GURU NANAK DIVERSITY VILLAGE

6471 175A STREET
SURREY, BC

DRAWN BY: SK/RP	CHECKED BY: RC
SCALE: As indicated	PROJECT NO.: CA638

SHEET TITLE:
SECTION DETAILS

REV. NO.:	SHEET NO.:
	A8.3



Project Team Directory
March 24, 2023

APPENDIX B

	Primary Contact	Address	Coordinates	Alternate Contact
Project Site		6471 175A Street Surrey, BC		
Owner (PICS)	Progressive Inter-cultural Community Services Society (PICS) Satbir S. Cheema President & CEO	No. 205–12725, 80 Ave Surrey, BC V3W 3A6	T: (604) 596-7722 ext. 104 C: (604) 785-7734 F: (604) 596-7721 satbir.cheema@pics.bc.ca	Judy Pavlovic Senior Executive Assistant T: (604) 596-7722 ext. 105 C: (604) 440-2568 judy.pavlovic@pics.bc.ca
Project Sponsors	Ministry of Health Kirk Eaton ED, Capital Services Vice Chair, OSC			Anna Gardner Director, Capital Services Branch Ministry of Health
	Fraser Health Paul Becker Chief Facilities Management Chair, OSC			Larry Harder Executive Director, Facilities Management, Projects & Planning Fraser Health
	BC Housing Sean Rorison Sr. Development Manager Housing Hub		T: (236) 984-0733 srorison@bchousing.org	Raymond Kwong Provincial Director, Housing Hub BC Housing T: (604) 439-8587 rkwong@bchousing.org
Owner's Representative(s)	TBD			
City of Surrey Building	TBD	Planning & Development 13450 – 104 Ave Surrey, BC V3T 1V8		Chris Atkins Planning T: (604) 591-4327 ctatkins@surrey.ca
Land Surveyor	Andrew Slater Project Manager GeoVerra	#100–20339 96 Ave Langley, BC V1M 0E4	T: (236) 380-20776 andrew.slater@geoverra.com	David Gosling VP British Columbia T: (250) 262-6954 david.gosling@geoverra.com
Geotechnical Engineer	Matt Kokan Principal Geopacific Consultants	1779 West 75 th Ave Vancouver, B.C. V6P 6P2	T: (604) 439-0922 ext. 226 C: (604) 341-6360 kokan@geopacific.ca	Umesh Anghnoo Project Manager C: (250) 640-9919 anghnoo@geopacific.ca Gillian Williams Operations Manager T: (604) 439-0922 ext. 237 C: (604) 368-3360



Project Team Directory
March 24, 2023

Environmental	Brian White McElhanney	Suite 100 – 8837 201 st St Langley BC V2Y 0C8	T: (604) 596-0391 bwhite@mcelhanney.com	
Architect	Shannon Seefeldt Partner Ciccozzi Architecture	1095 W Pender St 15th Floor Vancouver, BC V6E 2M6	T: (604) 687-4741 ext. 114 C: (604) 786-3397 shannon@ciccozziarchitecture.com	Sumeet Kulkarni T: (604) 687-4741 Ext: 7361 Sumeet.Kulkarni@ciccozziarchitecture.com
Civil Engineer	Aman Grewal Centras Engineering	#216-2630 Croydon Dr. Surrey, BC V3S 6T3	T: (778) 879-7602 aman@centras.ca	Steve O'Connell Principal T: (604) 782-6927 Steve@centras.ca
Landscape Architect	Dave Jerke Principal Van der Zalm + Assoc.	PO Box 461 102-9181 Church St Fort Langley, BC V1M 2R8	T: (604) 546-0921 C: (604) 440-2209 davidj@vdz.ca	Phoenix Chan T: (604) 882-0024 phoenix@vdz.ca
Arborist Consultant	Tom Walz BC Plant Health Care	18465 53 rd Avenue Surrey, BC V3S 7A4	T: (604) 575-8727 Tom@bcplanthealthcare.com	
Food Service Consultant	Dale Burnstad Principal Burnstad Consulting	311 – 316 Windermere Rd Edmonton, AB T6W 2Z8	T: (780) 414-6116 C: (780) 913-9807 dale@burnstadconsulting.com	Scott Batty T: (780) 414-6116 C: (587) 990-1723 scott@burnstadconsulting.com
Structural Engineer	John Markulin Principal Kor Structural Engineers	510 Burrard St Suite 501 Vancouver, BC V6C 3A8	T: (778) 652-1900 jmarkulin@korstructural.com	Frank Kyle Principal T: (778) 652-1901 kfrank@korstructural.com
Mechanical Engineer	Brad Cleeve Reinbold Engineering Group	400-1580 West Broadway Vancouver, BC V6J 5K8	T: (604) 295-8849 BCleeve@reg-eng.com	Michael Raiva T: (604) 737-7353 ext. 110 C: (778) 214-6183 mraiva@reg-eng.com Doug Reinbold 110, 5970 Centre Street S.E Calgary, AB T2H 0C1 C: (403) 813-8439 DReinbold@reg-eng.com
Electrical Engineer	Abdalla Osman AES Engineering	500-3795 Carey Rd. Victoria, BC V8Z 6T8 505 Burrard Street, Suite 950 - Box 91 Vancouver BC V7X 1M4	T: (778) 405-2431 abdalla.osman@aesengr.com	Amir Tavakoli Principal AES Engineering C: (403) 975-7176 amir.tavakoli@aesengr.com
Building Envelope & Energy Modelling	Chris Lung Project Manager JRS Engineering	300-4595 Canada Way Burnaby, BC V5G 1J9	C: (604) 729-6248 clung@jrseengineering.com	Jack Cui Senior Energy Modeller Div. Manager C: (778) 386-3298 jcui@jrseengineering.com Zequn Wang Energy Modeller T: (604) 320-1999 C: (780) 655-8713 zwang@jrseengineering.com



Project Team Directory
March 24, 2023

Building Code Consultants	Giovanni Nicora Jensen Hughes	1195 West Broadway Suite 228 Vancouver, BC V6H 3X5	T: 647-362-4470 gnicora@jensenhughes.com	John Bolduc T: (604) 684-2384 C: (778) 378-8148 john.bolduc@jensenhughes.com
Cost Consultant	Phoenix Feng Associate Director BTY Consultancy	2288 Manitoba St Vancouver, BC V5Y 4B5	T: (604) 734-6873 PhoenixFeng@bty.com	Ping Pang Director T: (604) 734-6412 pingpang@bty.com Eldon Lau Principal T: (604) 734-6407 EldonLau@bty.com
Legal	Sean Hogan Buckley Hogan	#200, 8120-128th St Surrey, BC V3W 1R1	T: (604) 635-3000 ext. 103 lawyers@buckleyhogan.com	Kay Sidhu Legal assistant T: (604) 635-3000 ext. 108
Health Care Consultant	Stuart Gerber Sr. Director Asset Management Optima Seniors Management	8382 156 Street Surrey, BC V3S 3R7	T: (604) 597-7931 stuart.gerber@optimaliving.ca	Karim Kassam Co-Founder and Principal Optima Seniors Management 300, 55 Water Street Vancouver, BC V6B 1A T: (604) 661-8883 karim.kassam@optimaliving.ca
Elevator Consultant	Tony Wu Project Manager Gunn Consultants	#166, 1020 Mainland St Vancouver, BC V6B 2T5	T: (604) 630-2276 ext. 1103 C: (604) 360-9274	Andrew Wilson Principal – Mgr. New Construction andrew@gunnconsultants.com
Transportation Consultant	Christephen Cheng Bunt & Associates Engineering	#1550, 1050 Est Pender St Vancouver, BC V6E 3S7	T: (604) 685-6427 ext. 232 ccheng@bunteng.com	Warren Zeller T: (587-349-7583 C: (403) 701-9952 wzeller@bunteng.com
Technical Reviews	Phil Haeckel Sr. Construction Manager Colliers Project Leaders	200 Granville Street, 19 th Flr Vancouver, BC V6C 2R6	C: (403).870.6092 Phil.Haeckel@ colliersprojectleaders.com	Peter Armstrong VP Construction Solutions Colliers Project Leaders T: 1 (289) 962-1993 peter.armstrong@ colliersprojectleaders.com
Acoustic Consultant	Aaron Peterson Brown Strachan	130 – 1020 Mainland St. Vancouver, BC V6B 2T5	T: (604) 689-0514 bsa@brownstrachan.com	

O-O-O-O-O

Project Milestone Schedule No. 16
December 12, 2022

No.	Project Milestones (Diversity Village)	Original Start /Completion	Revised Start	Revised Completion	Expected / Actual Completion	Status
1.	<ul style="list-style-type: none"> BP Approval Contract / Tender Documents 6 month duration	Nov 1, 2021 – Apr 29, 2022	Dec 12, 2022	Jun 30, 2023		In Process
2.	Class B Estimate #1 (90% CD) 1 m duration Update Class B Estimate 2 week duration at mid-point in BP approval process	Aug 2 – Sep 3, 2021	Nov 28, 2022		Dec 12, 2022	Complete
3.	FH/BCH/Treasury Board Approval <ul style="list-style-type: none"> OSC Budget Review & Approval FHA Amendment to PDA BCH Provisional Project Approval (Submission) BCH Excom PPA Review (Meet every Wednesday) BCH Board Appvd (Meet Qrtly) Treasury Board Approval 6 month duration		Jan 10, 2023	Jun 30, 2023 (TBC) Concurrent with building permit approval		In Process
4.	<ul style="list-style-type: none"> Prepare CD Class A Estimate (IFT drawings) Colliers Review 1 m duration (concurrent w BP)	Mar 28 – Apr 29, 2022	Jun 1, 2023 Following City Building review comments	Jun 30, 2023 Concurrent with building permit approval		
5.	Tender Construction Scope 2 month duration	May 2 – Jun 30, 2022	Jul 3, 2023	Aug 31, 2023		
6.	OSC Review and Approval to Proceed to Construction 1 month duration	Jun 30, 2022	Sep 1, 2023	Sep 29, 2023		
7.	Construction (Concrete) 24 month duration	Aug 8, 2022	Oct 2, 2023	Sep 30, 2025		
8.	<ul style="list-style-type: none"> Commissioning Service Provider Agreement Occupancy Permit 2 month duration	Apr 30, 2024 Jun 28, 2024	Oct 1, 2025	Nov 28, 2025		
9.	<ul style="list-style-type: none"> Licensing and Approvals Letter of Approval 1 month duration	Aug 2, 2024	Dec 1, 2025	Dec 31, 2025		
10.	Occupancy	Aug 5, 2024		Jan 5, 2026		



RFP Project Coordination, Construction Procurement & Monitoring
Guru Nanak Diversity Village
March 29, 2023

SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.0 PROJECT ADMINISTRATION & COORDINATION (All Phases)¹

1.01 Client Review and Advocacy

Facilitate with Client a review of the design and other project related requirements (schedule, procurement, budget) at various milestone stages to manage Client requirements and *assist design professionals to ensure* Client requirements are met and instruct the design and or project team to modify / change scope, budget, or schedule as necessary of requirements. Coordinate and facilitate all the meeting and communication related to the project.

1.02 Accounting and Invoicing

Working with the controller account for all Project costs and prepare regular invoicing/claims as required. Maintain documents on behalf of the Client as it relates to the Project, including but not limited to, administrative and financial records and copies of all approved plans and specifications, budgets and time schedules. Make available such books of account and copies of approved plans and specifications, budgets and time schedules at all times for inspection by an authorized representative of the Client during normal business hours at the office of the Development Consultant.

1.03 General Documentation

Create and Maintain Project reporting protocol through the coordination and compilation of ongoing capital budget/expense review, schedule, monthly reports and cash flow.

1.04 Meetings

Facilitate Project Oversight Committee / PICS Building Committee meetings, communicating with all invitees and providing meeting minutes within 5 business days of meeting.

1.05 Project Team Breakdown

Provide, update and maintain a Project team organizational structure noting the general roles and responsibility of the Project team. This may include but is not limited to work breakdown structures, project communication plans, risk management plans, and core stakeholder objectives and schedules.

1.06 Taxes

Coordinate and assist the Project Accountant with the correct tax filing and reporting. To include but not limited to GST/HST filings, input tax credit and rebate reporting.

1.07 Incorporation, Constitution and Bylaws

Assist in the review of the Client's Constitution and Bylaws, and where applicable assist in ensuring that bylaws adhere to authority requiring alignment to program requirements.

1.08 Accounting and Invoicing

Coordinate with Client to have annual financial statements audited as necessary.

¹ Extracted from Schedule A – Services Matrix, BC Housing 2020 Development Consultant Services Contract.



RFP Project Coordination, Construction Procurement & Monitoring
Guru Nanak Diversity Village
March 29, 2023

SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.09 Meetings

Attend and assist in the coordination of design consultants meetings, construction site meetings and post completion or handover meetings, and ensure that chairing party (i.e.: contractor or architect) provides minutes within 5 business days of meeting and are distributed to all relevant parties.

1.10 Funding & Financing Application and Compliance

*Assist the Client with securing acceptable financing for the Project and *coordinate* all documentation as required by funders. *Prepare* project proposal submission for capital funding and/or financing which includes but is not limited to: confirming Client eligibility, confirmation of project compliance with program guidelines, assisting in site evaluations, assisting in establishing procurement techniques, assembling project team, development of capital budget proforma, development of operating proforma, establishing development schedule, cash flow analysis (including NOI, DCR and subsidy calculations) ensuring sufficient research is conducted to establish project feasibility including need and demand, and assembling information in a format acceptable for submission.*

1.11 Professional/Expert Advisory

Provide assistance to the design Consultant(s) (Architect or equivalent role) in the coordination and communications between design disciplines which may include: architectural design services; structural, mechanical, electrical, landscape, & civil engineering; interior design; sustainability or LEED consultation; commissioning agents; quantity surveyor or cost estimator; interior design or FF&E (furnishing, fixtures and equipment) selection and procurement; and Contractor.

1.12 Coordinating Work of Separate Contractors

Conduct coordination of contractors in direct contract with the Client. Process individual applications for payment, payment certification, completion and takeover with regard to each contract. Set out in writing the agreed to extent to which coordination services apply in this contract.

1.13 Design and Construction Documents

Provide assistance to Primary Consultant (Architect or equivalent role) in the coordination and communications between design disciplines which may include: architectural design services; structural, mechanical, electrical, landscape, & civil engineering; interior design; sustainability or LEED consultation; commissioning agents; quantity surveyor or cost estimator; and interior design or FF&E (furnishing, fixtures and equipment) selection and procurement.

1.14 General Contractor or Construction Manager

Provide coordination between Contractor and Client. Assist the Client in the processing of individual applications for payment, payment certification, completion and takeover with regard to each contract.

1.15 Marketing

- a) *Provide coordination services for design, selection, procurement and installation of graphics, corporate logos, signage and similar elements for interior and exterior application.*
- b) *Provide coordination services for any press release, media liaison or events such as ground breaking ceremonies, grand openings or formal public announcements.*



RFP Project Coordination, Construction Procurement & Monitoring
Guru Nanak Diversity Village
March 29, 2023

SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.16 Professional Coordination - Revisions to Construction Documents

Provide assistance to Primary Consultant (Architect or equivalent role) in coordination services when drawings, specifications or other documents need revisions which are:

- a) Caused by instructions that are inconsistent with instructions or written approvals previously given by the Client, including revisions made necessary by adjustments in the Client's program or construction budget,
- b) Caused by enactment or revisions of statutes, regulations, codes or by-laws, subsequent to the preparation of such documents,
- c) Caused by an interpretation by the authorities having jurisdiction which differs from the architect's interpretation of statutes, regulations, codes and by-laws, which difference the architect could not have reasonably anticipated, or
- d) Due to changes required as a result of the Client's failure to render decisions in a timely manner.

1.17 Work of Client's Own Forces

Coordinate the work of Client's own forces with that of the general contractor. Set out in writing the agreed to extent to which coordination services apply in section.

1.18 Legal Documents required to facilitate acquisition, assembly, or disposition (real estate transactions)

Coordinate legal documents for acquisition, assembly or sales required to facilitate the development, including but not limited to coordination with legal consultant for disclosure statements; closing and conveyance documents.

1.19 Legal Documents required to facilitate development

Provide assistance to lawyer in coordination of any legal documents required to facilitate the development, including but not limited title review, subdivision documents; statutory rights-of-way; easements; servicing agreements; lease agreements; air space parcel requirements; and stratification.

1.20 Budget and Proforma

Create a viable pro forma including funding requirements.

1.21 Approvals

Manage, coordinate and liaise with project team to obtain necessary municipal, regional, provincial and federal approvals to facilitate development including meetings with Staff representatives, officials and officers, health authorities, review boards and committees, and politicians.

1.22 Client Reporting

Prepare and coordination reports and presentations in status updates to the Client.

Create and maintain regular reporting to the Client on property and member development activities, including financial statements for the Client on a minimally quarterly basis until BC Housing's Final Project Commitment approval is issued and monthly thereafter until initial occupancy of the Project is issued by the governing municipality. Financial statements are to be prepared in accordance with Canadian generally accepted accounting principles consistently applied and in keeping with the standards of the industry for similar projects. Financial statements are to be delivered within 10 calendar days of quarter or month end, as the case may be.



RFP Project Coordination, Construction Procurement & Monitoring

Guru Nanak Diversity Village

March 29, 2023

SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.23 Risk Management

Working with Construction manager and other stakeholders develop and maintain a risk management strategy with milestone reporting to Client.

1.24 Scheduling

Create and maintain work plans with task and timelines to keep projects on track.

1.25 Client's Operations Plan

Assist Client to establish post construction operating management plan in accordance with Client's objectives and, if applicable BC Housing Operator or Operating Agreement.

1.26 Value Engineering

Co-ordinate a value engineering workshop if needed.

1.27 Design Review

Assist Society in monitoring the project design at 100% completion and manage the needs of the Client, City of Surrey and Fraser Health.

1.28 Estimate of Probable Construction Cost & Updates to Proforma

Coordinate with Project contractor and/or Project Consultants to update the estimate of probable construction cost based on current area or volume unit costs factored to anticipated time of construction and detail impact to capital budget and proforma for Client.

1.29 Update Project Schedule

Update and submit to Client an updated project schedule identifying major and minor tasks, sequence of tasks, duration of tasks, start and finish dates of tasks, interdependencies of tasks, critical path and major project milestones.

1.30 Milestone Review

Review current status of project in relation to objectives including cost, schedule and scope and confirm client approval to be obtained before proceeding to next phase.

1.31 Claims and Invoicing

Compile and submit construction claims each month during construction.

1.32 Accounting

Manage the collation and preparation so that all advances are properly made and can be accounted for, submitting a cover sheet to all claims showing expenditures to date in relation to approved Capital Budget.

1.33 Construction Contract Administration

Working with Construction Manager review Proof of Workers' Compensation Board Certificates, Bonds and Insurance Policies.



RFP Project Coordination, Construction Procurement & Monitoring
Guru Nanak Diversity Village
March 29, 2023

SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.34 Construction Contract Administration

Receive Statutory Declaration from contractor confirming that all payments to sub contractors from all previous claims have been paid accordingly.

1.35 Construction Kick Off Meeting

Working with Construction Manager coordinate construction kick off meeting with Society, Lender, CI, GC, Architect, etc. to review contract administration expectations. Where applicable, assist the architect and/or coordinating professional with coordination and administration.

1.36 Consultation Services during Construction

Coordinate and attend monthly site meetings to manage appropriate Client representation. Where applicable, assist the architect and/or coordinating professional with coordination and administration.

1.37 Commissioning

Assist Client in the development of a viable Project Commissioning plan and ensure completed including reporting.

1.38 Contract Documents - Supplemental Details and Instructions

Assist in the preparation and issuance of additional documents and supplemental instructions as required for clarification of the requirements of the contract documents. Where applicable, assist the architect and/or coordinating professional with coordination and administration.

1.39 Change Notices/Orders and Change Directives

Assist the Client in the review of all Change Notices and Change Directives in relation to the scope schedule or budget of the Project.

1.40 Requests for information (RFI's)

Assist in the response for the requests for information from contractors and process accordingly. Where applicable, assist the architect and/or coordinating professional with coordination and administration.

1.41 Site Meetings

Assist the Architect and/or coordination professional site meetings with contractor , major sub-contractors and consultants, where appropriate, to review the progress of the Work.

1.42 Construction Cost, Cash Flow & Updates to Proforma

Working with Construction Manager coordinate with Project contractor and/or Project Consultants to update the construction cost based on current area or volume unit costs factored to anticipated time of construction and detail impact to capital budget and proforma for Client. Receive construction schedule and projected cash flow schedule, review against Client's anticipated construction duration and report to Client.



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SCHEDULE A - SCOPE OF SERVICES: PROJECT COORDINATOR

1.43 Update Project Schedule

Update and submit to Client an updated project schedule identifying major and minor tasks, sequence of tasks, duration of tasks, start and finish dates of tasks, interdependencies of tasks, critical path and major project milestones.

1.44 Substantial Completion

Assist Client in monitoring schedule and contractor performance including substantial completion and occupancy.

1.45 Milestone Review

Review current status of project in relation to objectives including cost, schedule and scope and confirm client approval to be obtained before proceeding to next phase.

1.46 Project Close Out

Assist at the end of construction provide services in accordance with the standard provisions of the province or governing authority for the takeover of the project by the Client.

1.47 Occupancy

Assist Client with occupancy strategy as required.

1.48 Maintenance and Improvement

Assist Client in developing a Maintenance and Improvement schedule for Operations.

1.49 Project Management - Financial Close Out

Provide a final capital cost statement to the Client.

1.50 Project Management - Mortgage Preparation (Interest Adjustment Date)

Assist Client in completing documents for take-out mortgage when required.

1.51 Project Coordination - Other Legal Documents

Assist Client with the completion of other legal documents to complete the development, including but not limited to the registration of specified encumbrances; final strata plans or other registered documents.

1.52 Project Management – Twelve Month Warranty Review

Prior to the end of the period of one year following the date of Substantial Performance of the Work, coordinate owner, contractor and architect to review any defects or deficiencies which have been reported or observed during that period, and notify to the contractor is made in writing of those items requiring attention by the contractor and agree on a schedule to complete the Work in accordance with the contract between the owner and contractor.

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SCHEDULE B - SCOPE OF SERVICES: CONSTRUCTION PROCUREMENT CONSULTANT

1.01 Construction Delivery & Procurement

- a) *Assist* Client in procurement and delivery method of construction, including, but not limited to, advisory regarding construction contract form (i.e., design-build, design tender, fixed price, etc.) and guiding process compliance with BC Housing Procurement Guidelines for Non-Profit Housing as required.
- b) *Assist the* Client in the review of alternative construction procurement and delivery methods, relevant contracts and Project implications for risk management, budget and scope management and overall project success.
- c) *Support the Client* in running a fair, compliant, and efficient procurement process that will meet expectation of all major stakeholders.

1.02 Prepare Bidding Requirements and Construction Contract Conditions

Obtain instructions from and *advise the* Client on preparing the necessary bidding requirements, bid forms, and form of Construction Contracts. If applicable, *advise the* Client of BC Housing's Non-Profit Housing Procurement Guidelines. This includes *assisting the Client* in determining the construction procurement methodology.

1.03 Contractor Procurement (Pre-Qualification)

Assist Client with Pre-qualification of Bidders – Prepare parameters of pre-qualification process, advise participants of rating criteria. *Receive* responses from interested parties, prepare analysis spread sheet and report results to Client for decision, assemble and provide bid documents to bidders, monitor enquiries in regard to bid requirements. Coordinate responses to RFIs from consultants and provide information to all the bidders in a timely manner

1.04 Preparation of Construction Contract Documents

Assemble construction contracts and related documents for signature by the contracting parties.

1.05 Revision of Documents to Incorporate Addenda

Confer with Client, receive instructions and prepare contract documents incorporating relevant addenda information into composite documents. Coordinate responses to RFIs from consultants

1.06 Contractor Procurement (Negotiations)

Assist Client with construction contract negotiations.

1.07 Contractor Procurement

Coordinate contractor's pre-bid conference or meeting.

1.08 Pre-qualification of Bidders

Prepare request for pre-qualifications, *receive and coordinate* responses from interested parties, and *assist* Client in evaluating responses.

1.09 Calling for Bids

Arrange and manage the process for public or invitational call for bids and distribution of bid documents.



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SCHEDULE B - SCOPE OF SERVICES: CONSTRUCTION PROCUREMENT CONSULTANT

1.10 Pre-Bid Meetings

Organize and coordinate pre-bid meetings for bidders.

1.11 Inquires

Assist the architect and/or coordinating professional in order to respond to and address questions raised by bidders during the bid period.

1.12 Addenda

Assist the architect and/or coordinating professional in order to prepare and issue addenda during bid period and before the award of the Construction Contracts.

1.13 Bid Receipt and Review and Evaluation

Assist the architect and/or coordinating professional in order to arrange for receipt of bids, opening of bids and review of bids, and assist the Client in the evaluation of the bids.

1.14 Contractor Negotiations

Assist Client with construction contract negotiations.

1.15 Bonds and Insurance

Assist the architect and/or coordinating professional in order to receive bonds and insurance documents for Client's review and acceptance. Advise Client for compliance with BC Housing Supplementary General Conditions.

1.16 Assembly of Construction Contract

Assist the architect and/or coordinating professional in order to assemble Construction Contract for legal review and signature by the Contracting Parties.

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SCHEDULE C - SCOPE OF SERVICES: CONSTRUCTION MONITOR

1.01 Construction Kick Off Meeting

Coordinate construction kick off meeting with Society, Lender, CI, GC, Architect, etc. to review contract administration expectations. Where applicable, assist the architect and/or coordinating professional with coordination and administration

1.02 Change Notices/Orders and Change Directives

Assist the Client in the review of all Change Notices and Change Directives in relation to the scope schedule or budget of the Project. Manage the scope of project.

1.03 Evaluating Contractor's Proposed Substitutions

Assist Client in evaluating substitutions proposed by the contractor.

1.04 Site Meetings

Assist the Architect and/or coordination professional site meetings with contractor , major sub-contractors and consultants, where appropriate, to review the progress of the Work.

1.05 Field Review

Provide field review/general review services.

1.06 Deficiencies

Ensure that deficiencies are corrected and occupancy occurs according to schedule.

1.07 Inspection & Testing Services

Support the Architect and/or coordination professional in ensuring contractor follows inspection and testing as required by the construction contract, where appropriate, observe the contractor's performance of testing and receive and review their reports and report to Client.

1.08 Off-Site Review of Manufactured Products

If off site review is required of major components, prefabrication sites etc., attend at these sites and perform general review to extent necessary to comply with general review services requirements.

1.09 Consistency to Client's Vision

Support the Architect and/or coordination professional in ensuring the project is constructed according to contract documents, including drawings, specifications, within budget and schedule.

1.10 Approvals

Manage, coordinate and liaise with project team to obtain necessary municipal, regional, provincial and federal approvals to facilitate development including meetings with Staff representatives, officials and officers, health authorities, review boards and committees, and politicians.

1.11 a. Construction Cost, Cash Flow & Updates to Proforma

Coordinate with Project contractor and/or Project Consultants to update the construction cost based on current area or volume unit costs factored to anticipated time of construction and detail impact to capital budget and proforma for Client. Receive construction schedule and projected cash flow schedule, review against Client's



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SCHEDULE C - SCOPE OF SERVICES: CONSTRUCTION MONITOR

anticipated construction duration and report to Client.

1.11 b. Issue Monthly Reports Based on Earned Value

Review the work completed on site and reconcile it with the invoiced to date to ensure there is no discrepancy between earned value and amount invoiced based on Purchase order and quoted amount. Lead the problem resolution efforts working with contractor, architect and other stakeholders to resolve any cost escalation issues.

1.12 Update Project Schedule

Update and submit to Client an updated project schedule identifying major and minor tasks, sequence of tasks, duration of tasks, start and finish dates of tasks, interdependencies of tasks, critical path and major project milestones. Lead the problem resolution efforts working with contractor, architect and other stakeholders to resolve any schedule issues.

1.13 Substantial Completion

Assist Client in monitoring schedule and contractor performance including substantial completion and occupancy.

1.14 Milestone Review

Review current status of project in relation to objectives including cost, schedule and scope and confirm client approval to be obtained before proceeding to next phase.

1.15 Takeover Procedure

Arrange for takeover of the project by the owner (Client), including demonstration of operating equipment, handover of maintenance manuals and replacement parts as specified.

1.16 Client's Maintenance Procedures Instruction

At the completion of construction and in accordance with the terms and conditions of the contract between the owner and the contractor, *coordinate* with the contractor, and if appropriate, consultants to conduct maintenance procedures Instructions the Client's building maintenance personnel.

1.17 Manuals and Documentation

At the completion of construction and in accordance with the terms and conditions of the contract between the owner and the contractor, *coordinate the receipt* from the contractor the operating manuals as specified, and turn them over to the Client.

1.18 Record Drawings

At the completion of construction and in accordance with the term and conditions of the contract between the owner and the contractor, *coordinate the receipt* from the contractor and Consultants all as-built and record drawings and *coordinate* turn over to the Client.

1.19 Project Close Out

Assist at the end of construction provide services in accordance with the standard provisions of the province or governing authority for the takeover of the project by the Client.



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SCHEDULE C - SCOPE OF SERVICES: CONSTRUCTION MONITOR

1.20 Systems Demonstrations

At the completion of construction and in accordance with the terms and conditions of the contract between the owner and the contractor, *coordinate* with the contractor, and if appropriate, consultants to conduct systems demonstrations for the Client's operations personnel.

1.21 Tenancy & Occupancy

Assist Client with tenancy strategy which may include familiarity with local Housing Registries, income testing and Rental Tenancy Agreements.

1.22 Maintenance and Improvement

Assist Client in developing a Maintenance and Improvement schedule for Operations.

1.23 Twelve Month Warranty Review

Prior to the end of the period of one year following the date of Substantial Performance of the Work, coordinate owner, contractor and architect to review any defects or deficiencies which have been reported or observed during that period, and notify to the contractor is made in writing of those items requiring attention by the contractor and agree on a schedule to complete the Work in accordance with the contract between the owner and contractor.

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